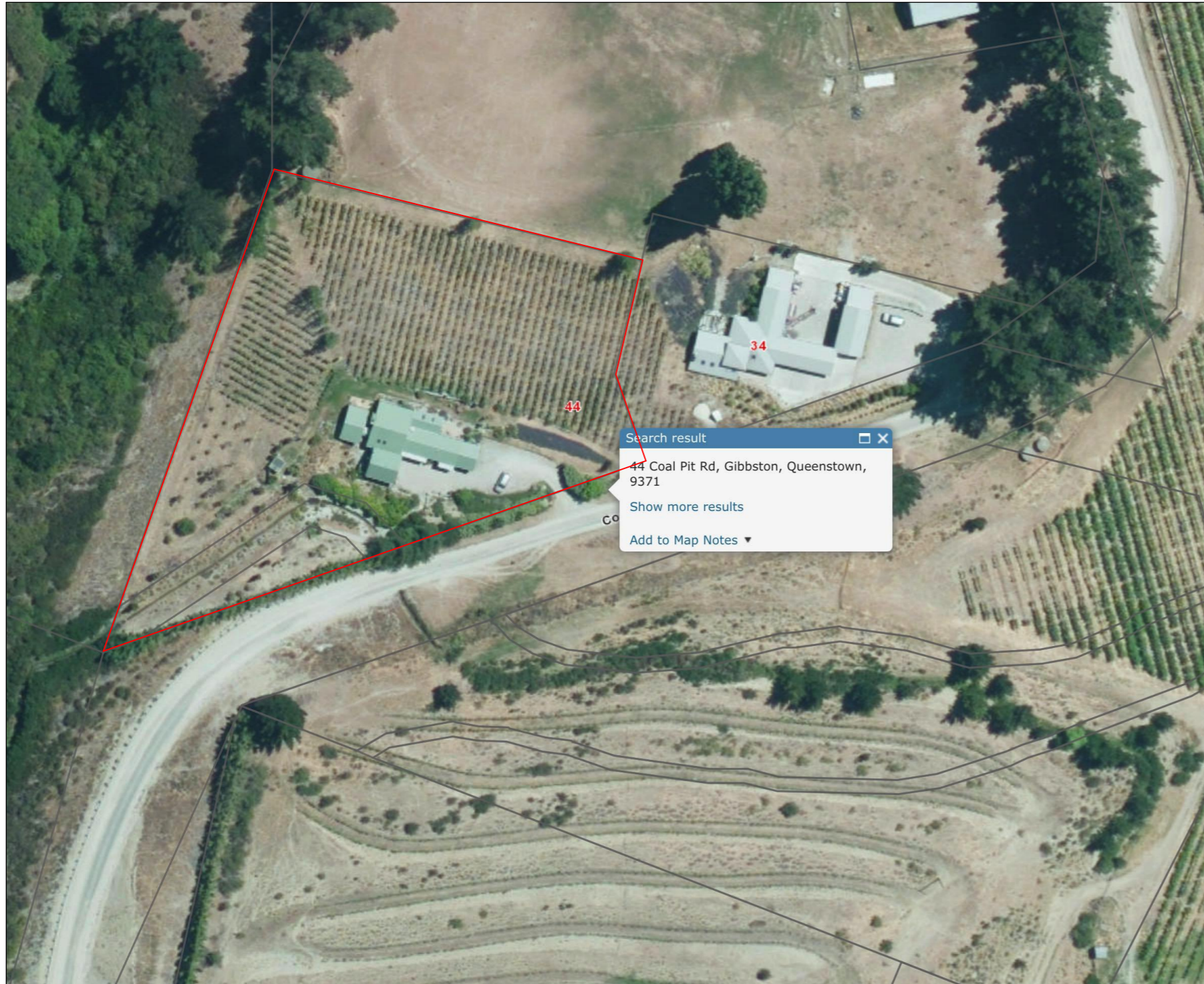


SUSSMAN Alterations & Additions

44 Coalpit Road, Gibbston Valley



DRAWINGS

Number	Revision	Title	Scale (A3)
GA00	0	Cover Page - Site Plan (This sheet)	NTS
GA01	0	Site Plan - Existing	1:500
GA01a	0	Site Plan - Existing	1:200
GA02	0	Floor Plan - Existing	1:100
GA03	0	Elevations - Existing	1:100
GA04	4	Site Plan - Proposed	1:200
GA05	4	Floor Plan - Proposed	1:100
GA06	0	Elevations - Proposed	1:100
GA07	0	Slab & Floor Framing Plan	1:100
GA08	0	Roof Plan & Roof Framing Plan	1:100
GA09	4	Reflected Ceiling Plan	1:100
GA10	6	Plumbing & Drainage Plan	1:100
GA11	4	Electrical Plan & Risk Matrix Plan	1:100
GA20	4	Section A	1:50
GA21	4	Section B	1:50
GA22	4	Section C	1:50
GA23	4	Section D	1:50
GA30	0	Interior Elevations - kitchen & coffee station	1:50
GA31	0	Interior Elevations - en suite	1:25/1:50
GA40	0	Window & Door Schedule	1:50
GD01	4	Details	1:5
GD02	0	Details	1:5
GD03	0	Details	1:5
GD04	4	Details	1:5
GD05	0	Details	1:5
GD06	4	Details	1:5
GD07	0	Details	1:5

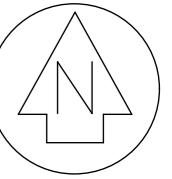
04/04/18	Soakage pit connected to Stormwater	06
29/03/18	Soakage pit added to rear courtyard	05
06/03/18	RFI's	04
16/01/18	BC application	03
12/07/17	Survey added	02
18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: NTS	Drawing Title: Cover Page	Drawing No: GA00
Drawn: MB/CH		



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michael@wyattarchitect.co.nz

Do not scale off print - refer to figured dimensions.
Refer to larger details where possible.
Confirm all dimensions on site prior to construction.
Consult with Architect immediately if discrepancies are found.



EXISTING SITE PLAN

04/04/18	Soakage pit connected to Stormwater	06
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18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN
Alterations & Additions
44 Coalpit Road, Gibbston Valley

Scale: 1:500 @ A3
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Drawing No: GA01
Drawn: MB/CH

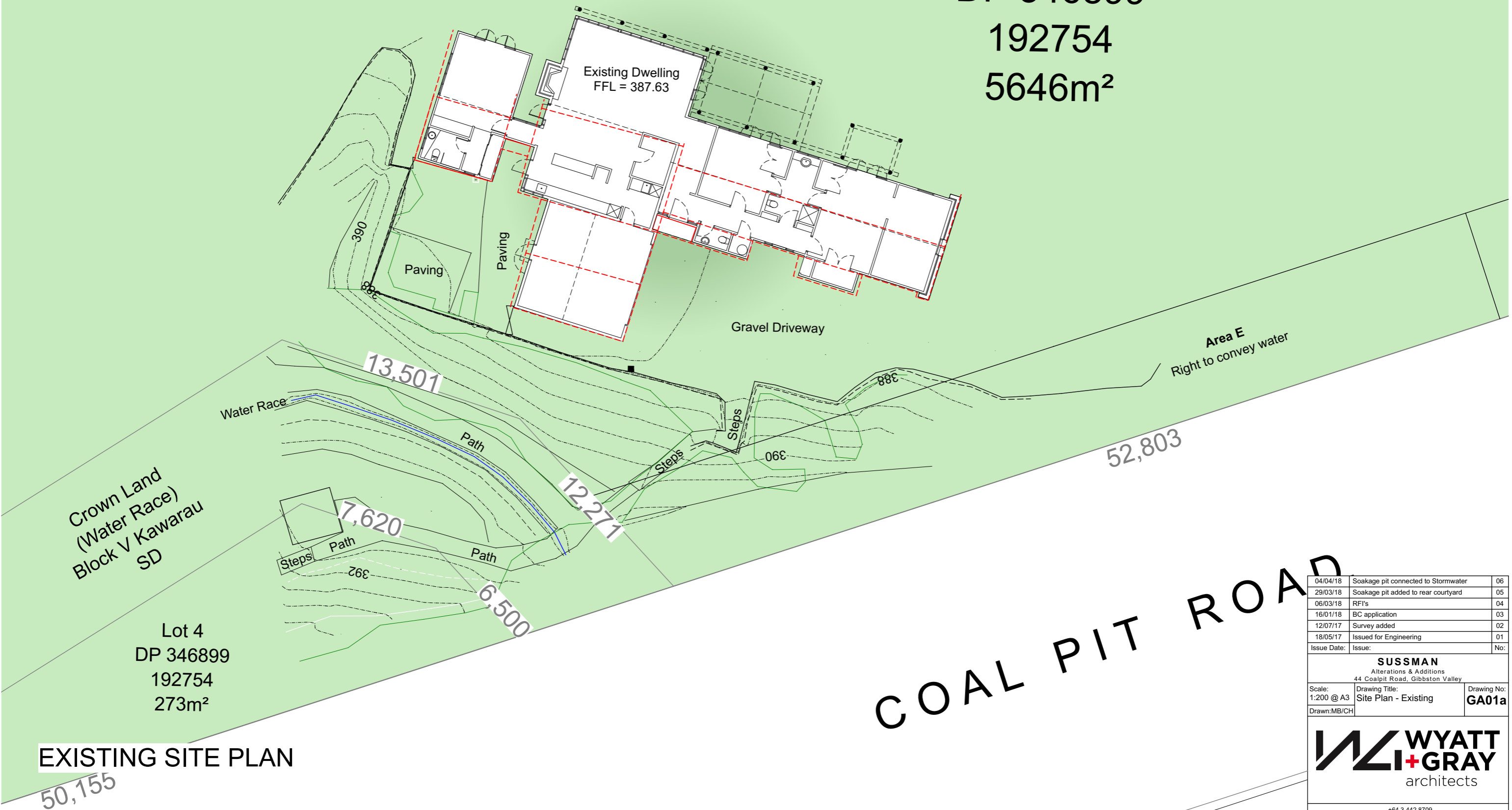


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Lot 2
 DP 346899
 192754
 5646m²



COAL PIT ROAD

Crown Land
 (Water Race)
 Block V Kawarau
 SD

Lot 4
 DP 346899
 192754
 273m²

EXISTING SITE PLAN

04/04/18	Soakage pit connected to Stormwater	06
29/03/18	Soakage pit added to rear courtyard	05
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18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

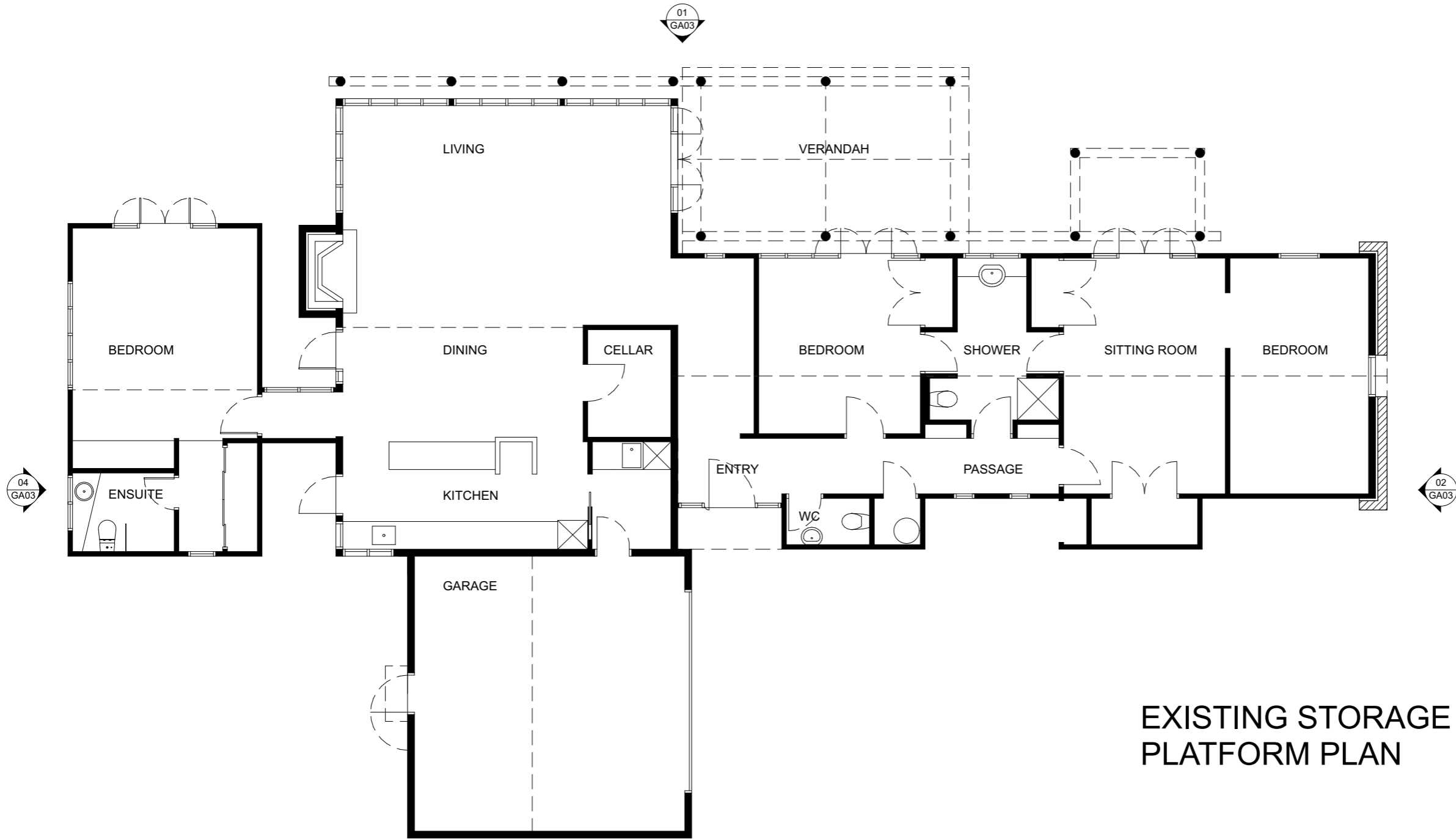
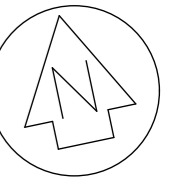
SUSSMAN
 Alterations & Additions
 44 Coalpit Road, Gibbston Valley

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 Drawing No: GA01a
 Drawn: MB/CH



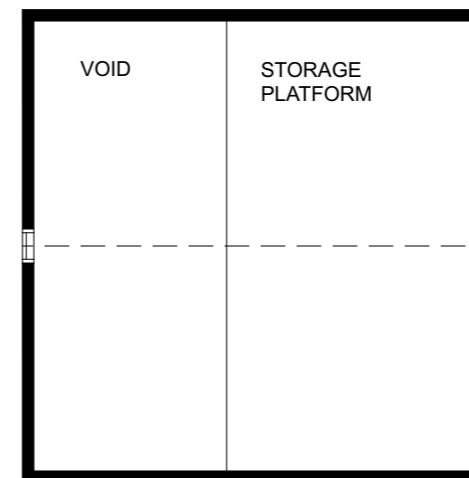
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EXISTING GROUND FLOOR PLAN

EXISTING STORAGE PLATFORM PLAN



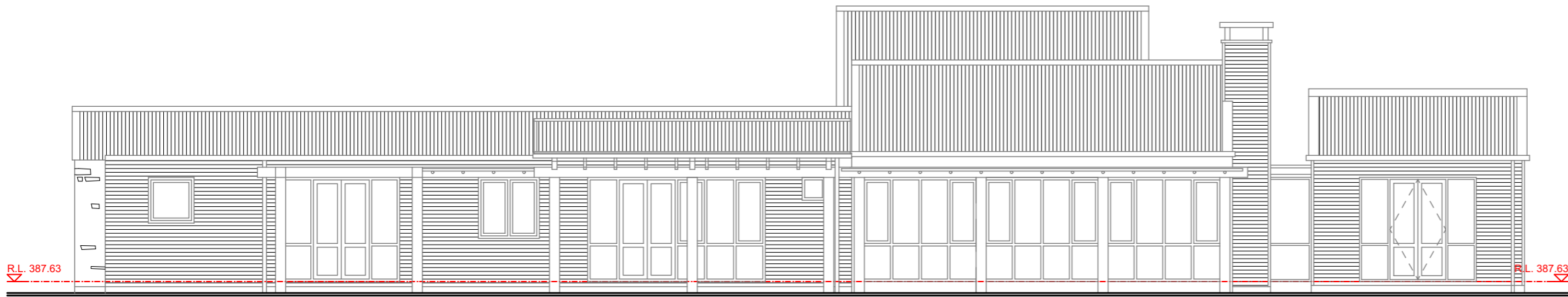
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18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
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Drawn: MB/CH		

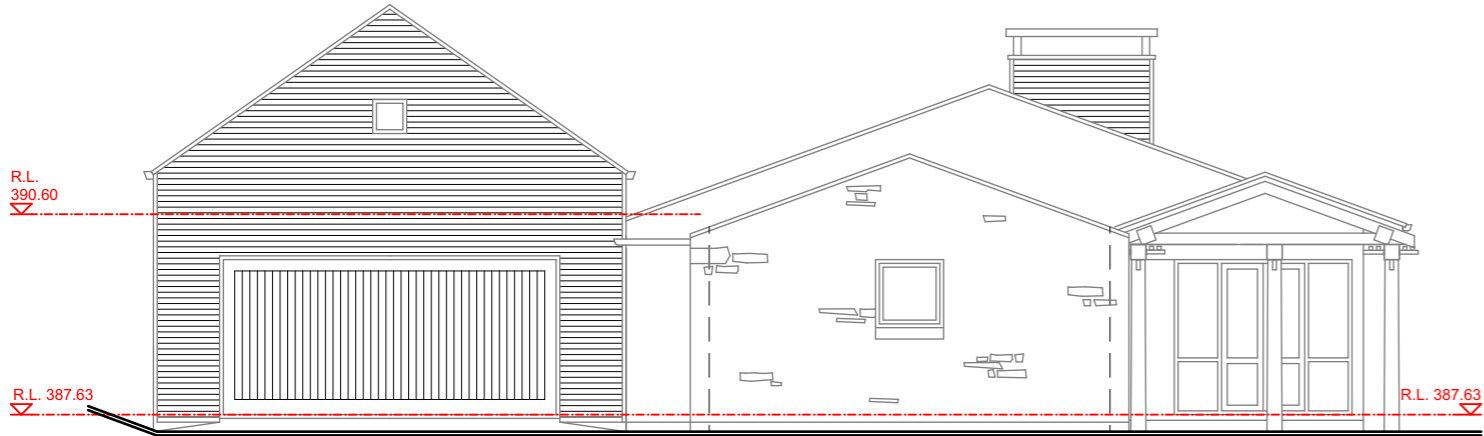


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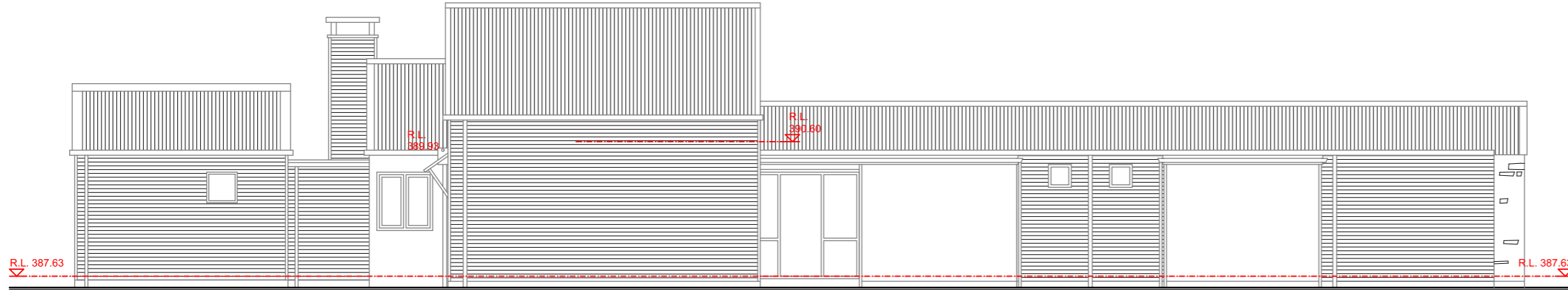
Do not scale off print - refer to figured dimensions.
Refer to larger details where possible.
Confirm all dimensions on site prior to construction.
Consult with Architect immediately if discrepancies are found.



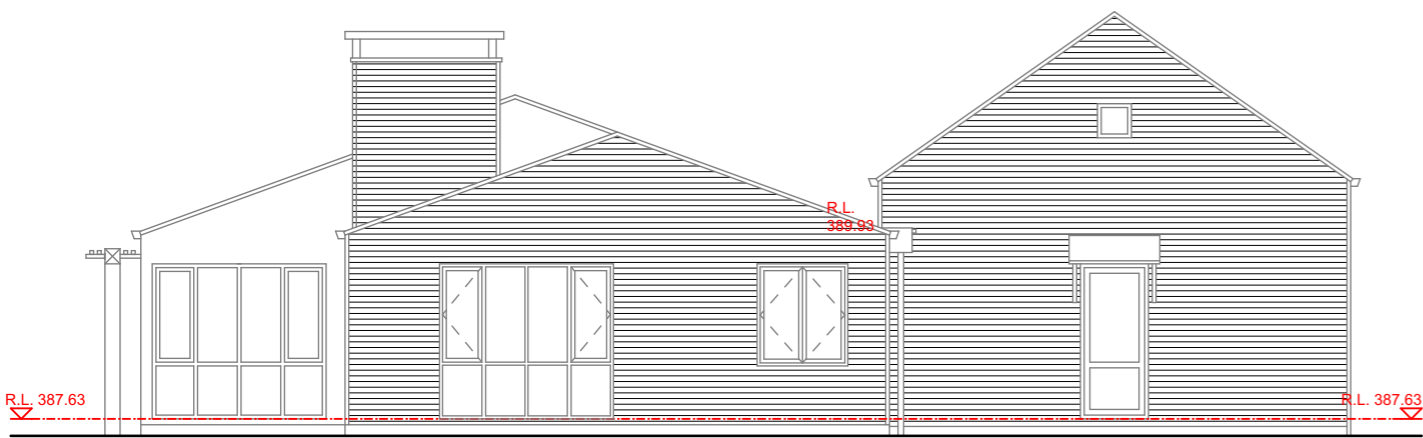
01 - EXISTING NORTH ELEVATION



02 - EXISTING EAST ELEVATION



03 - EXISTING SOUTH ELEVATION



04 - EXISTING WEST ELEVATION

04/04/18	Soakage pit connected to Stormwater	06
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16/01/18	BC application	03
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18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:100 @ A3	Drawing Title: Elevations - Existing	Drawing No: GA03
Drawn: MB/CH		



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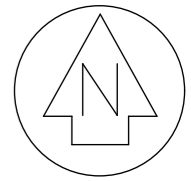
Do not scale off print - refer to figured dimensions.
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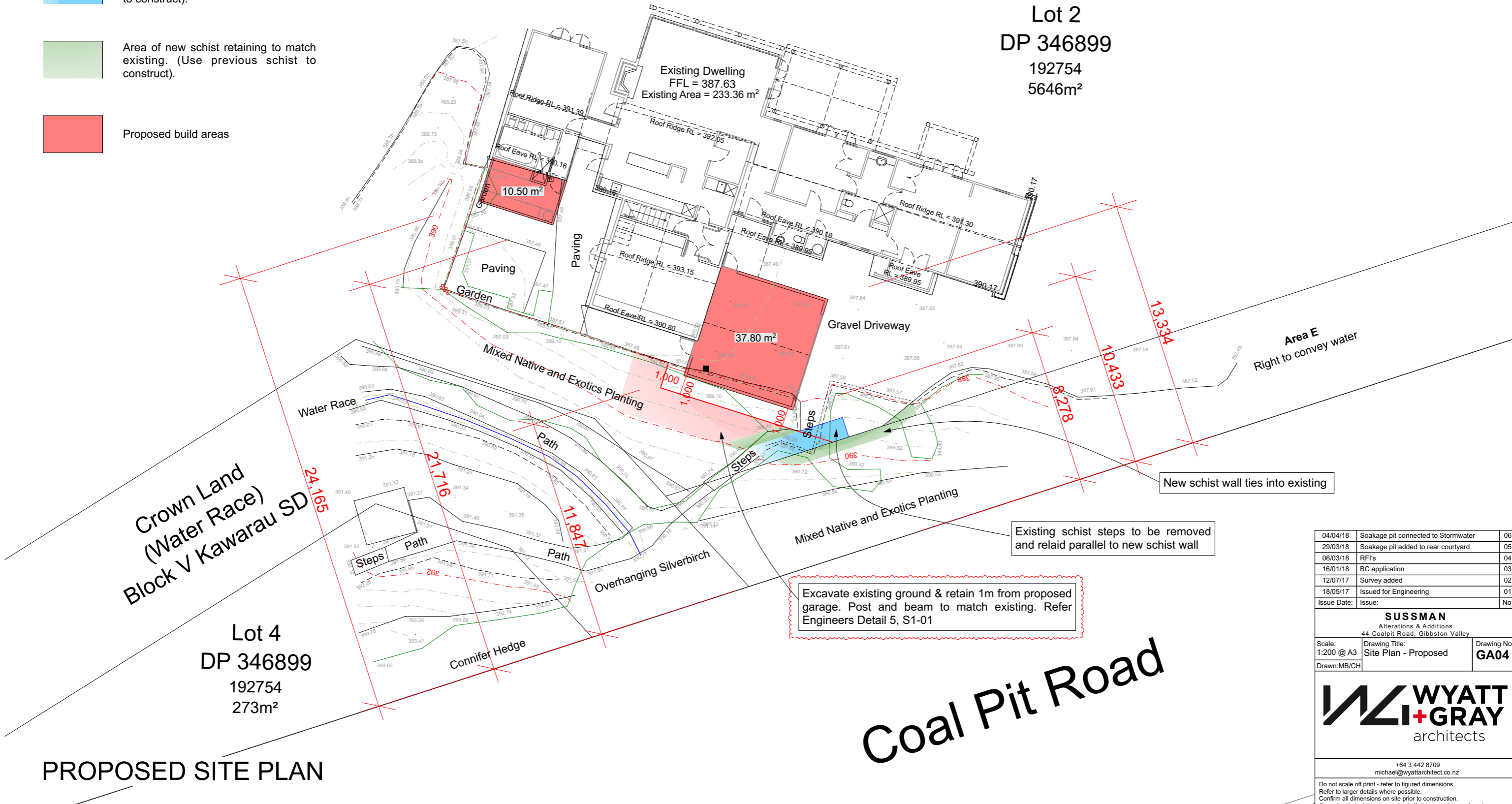
Legend:

- New post and beam retained area, to match existing post and beam.
- Area of new schist steps to run parallel to new schist wall (Use previous schist to construct).
- Area of new schist retaining to match existing. (Use previous schist to construct).
- Proposed build areas

Build Areas: (m ²)	
10.50	= New build WIR
37.80	= New build Garage
48.30	= New build total area
233.36	= Existing building
281.66m²	= Total of New Building



Lot 2
DP 346899
 192754
 5646m²



Crown Land
(Water Race)
Block V Kawarau SD

Lot 4
DP 346899
 192754
 273m²

PROPOSED SITE PLAN

Coal Pit Road

Area E
 Right to convey water

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18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN		
Alterations & Additions		
44 Coalpit Road, Gibbston Valley		
Scale: 1:200 @ A3	Drawing Title: Site Plan - Proposed	Drawing No: GA04
Drawn: MB/CH		

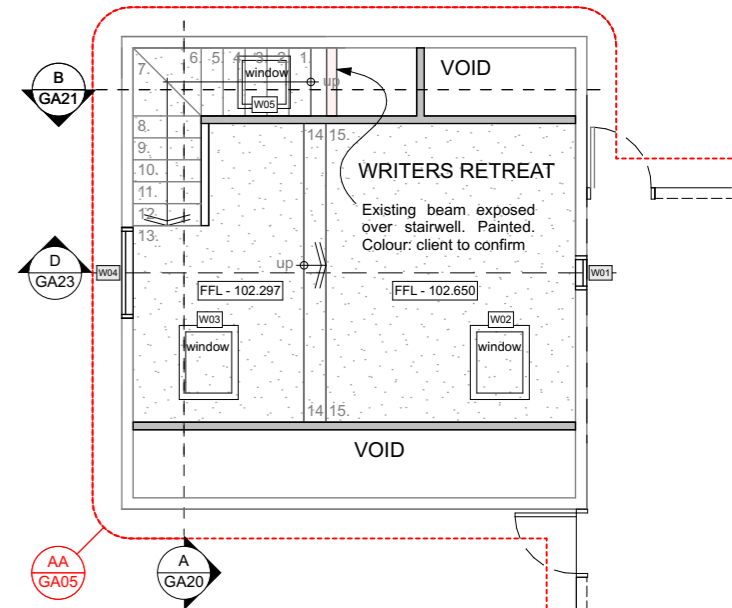
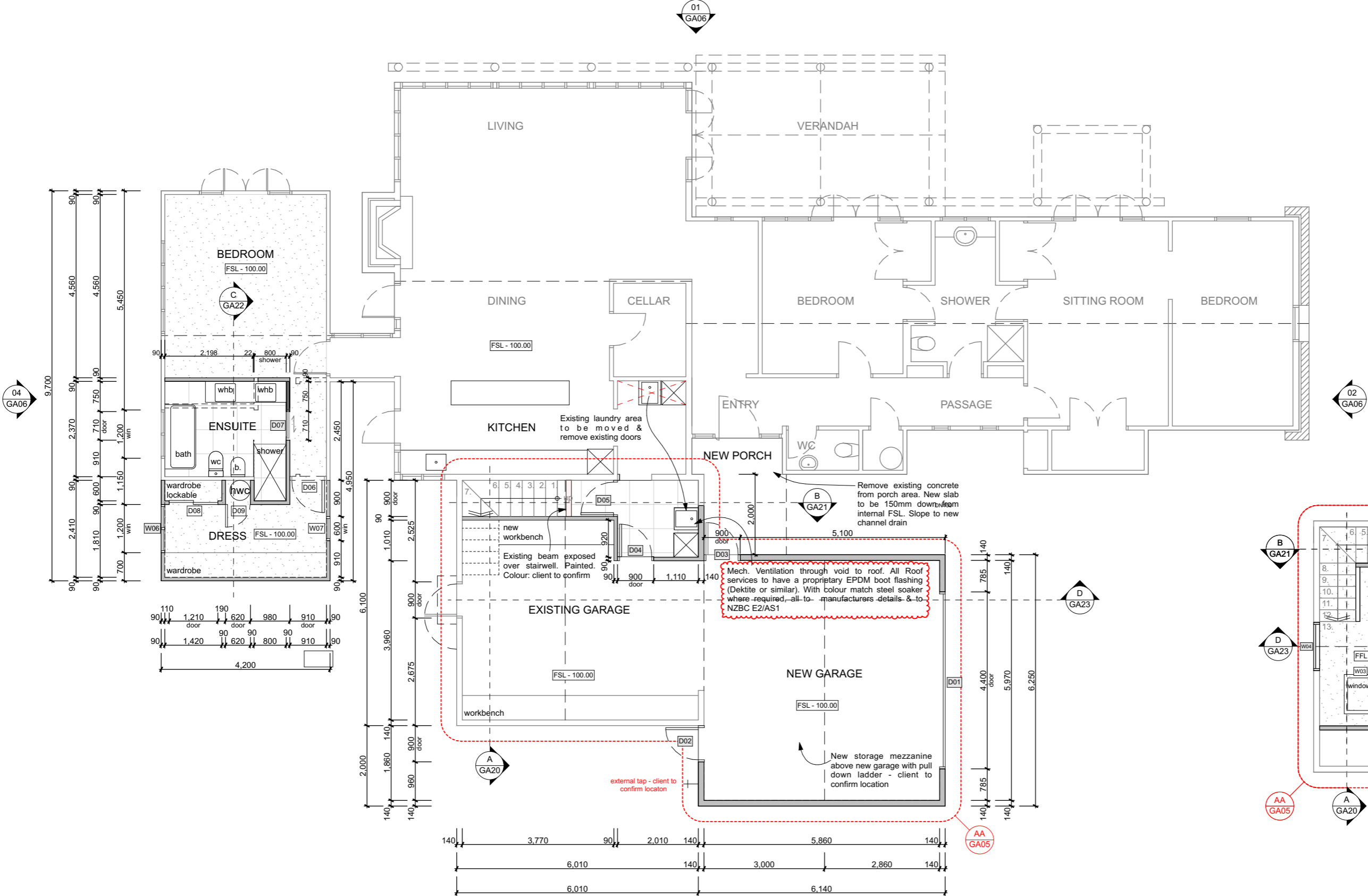
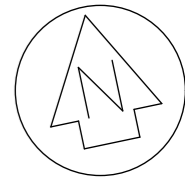


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LEGEND:

- existing timber framed
- wall
- remove existing timber
- framed wall
- new timber framed wall



Internal Floor Finishes Key

- Selected tile
- Selected carpet

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Issue Date:	Issue:	No:

SUSSMAN
Alterations & Additions
44 Coalpit Road, Gibbston Valley

Scale: 1:100 @ A3
Drawing Title: Floor Plan - Proposed
Drawing No: GA05
Drawn: MB/CH



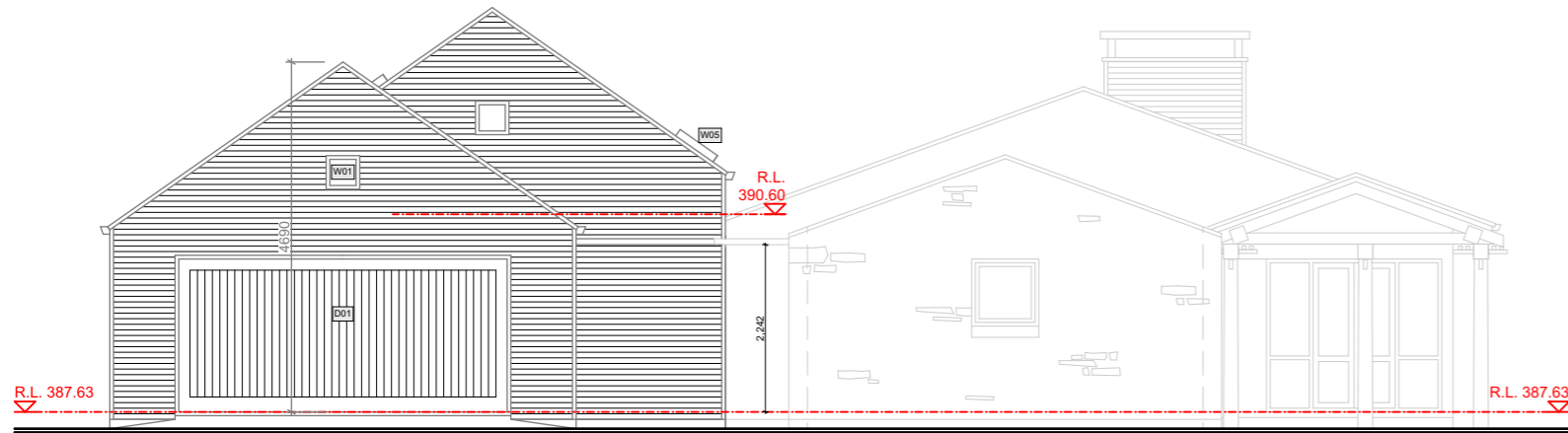
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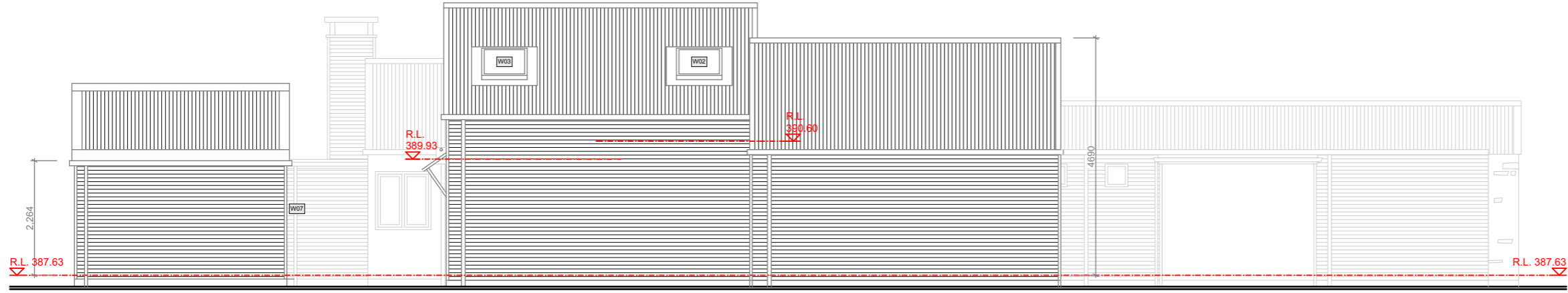
PROPOSED FLOOR PLAN



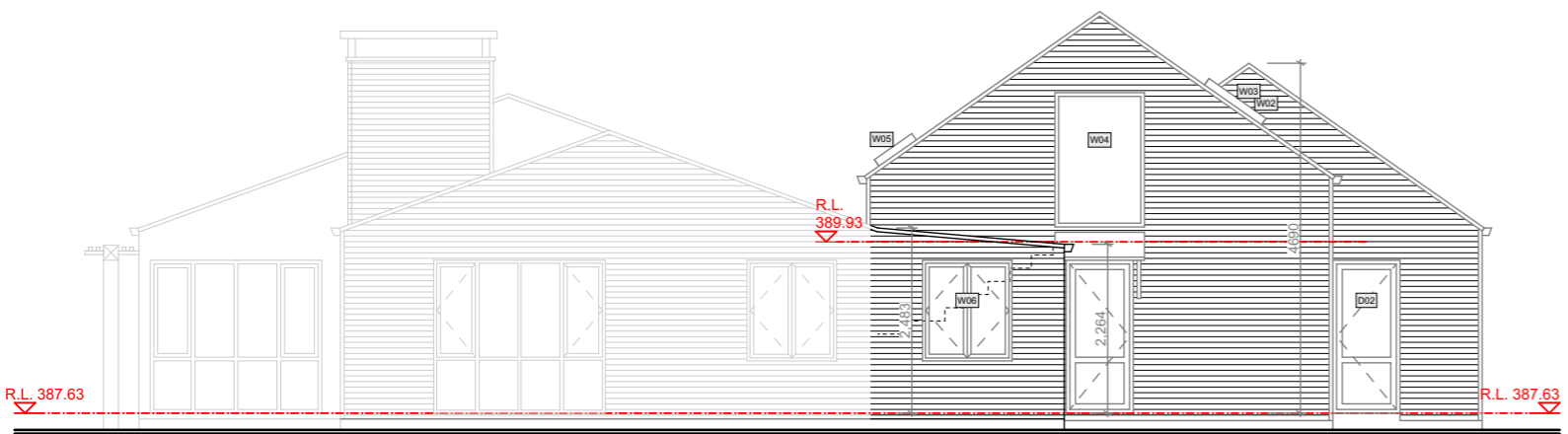
01 - PROPOSED NORTH ELEVATION



02 - PROPOSED EAST ELEVATION



03 - PROPOSED SOUTH ELEVATION



04 - PROPOSED WEST ELEVATION

04/04/18	Soakage pit connected to Stormwater	06
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18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:100 @ A3	Drawing Title: Elevations - Proposed	Drawing No: GA06
Drawn: MB/CH		

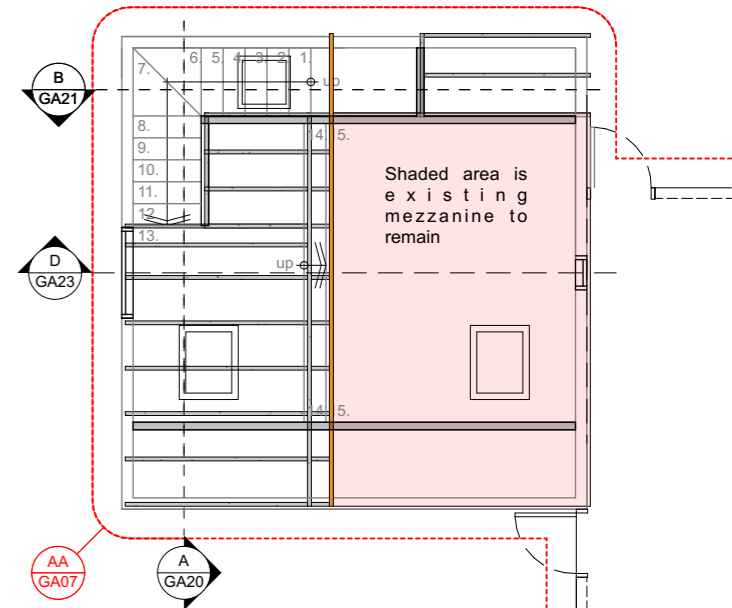
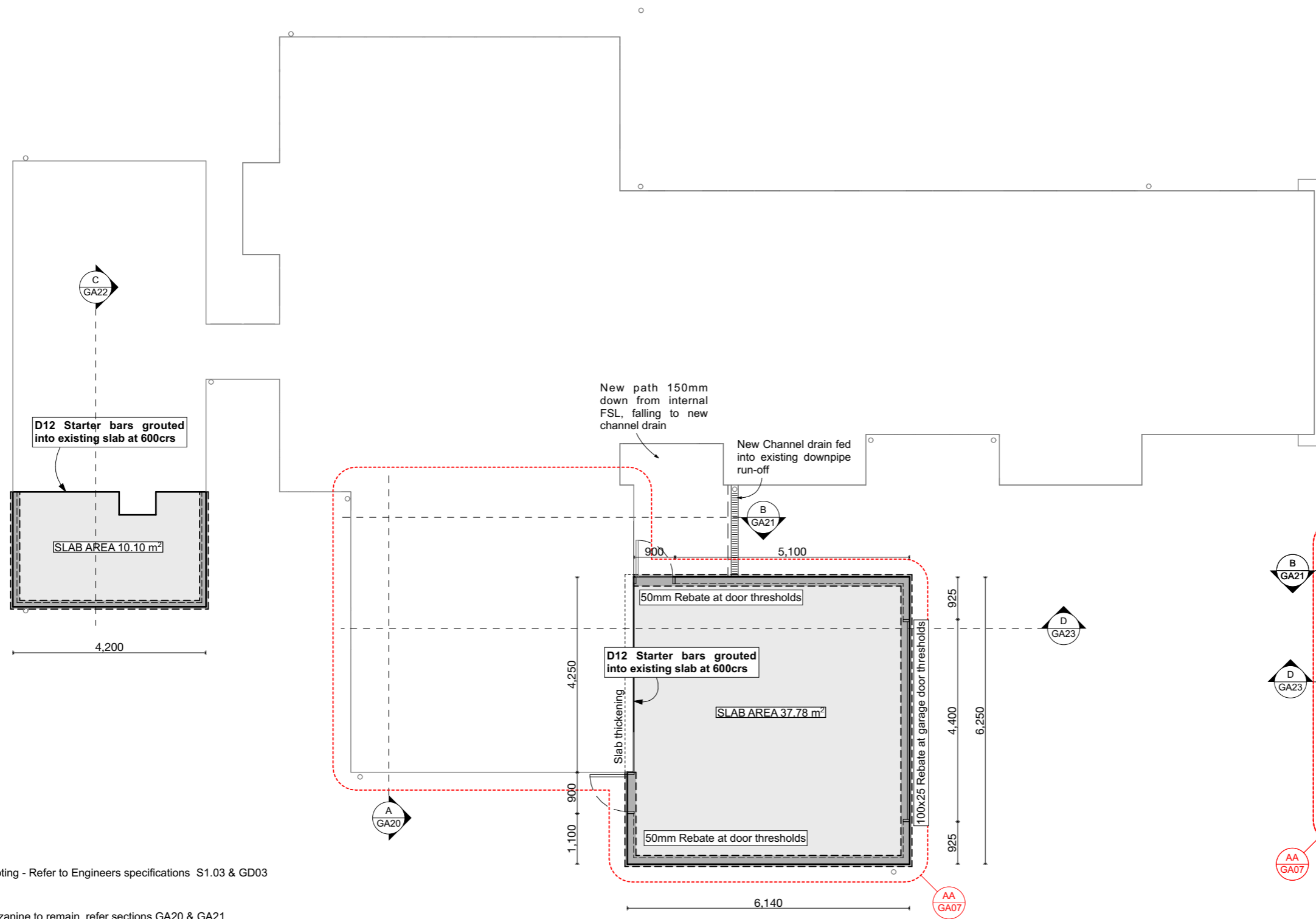
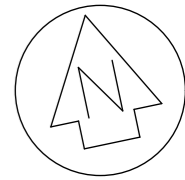


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LEGEND:

	existing timber framed
	wall
	remove existing timber
	framed wall
	new timber framed wall



- LEGEND:**
- Proposed footing - Refer to Engineers specifications S1.03 & GD03
 - Existing mezzanine to remain, refer sections GA20 & GA21
 - New 100mm slab with SE62 Mesh (35 /top Cover), on Expol H Grade 50mm (R1.39), on 25mm sand blinding, on 150mm min compacted hardfill. U.N.O. Reinforced slab thickenings at perimeter / under load bearing walls.
 - Existing 200UB22 to remain. Exposed area over stairwell. Colour: Client to confirm
 - Floor framing: H1.2 SG8 190x45 @ 600crs. Refer to GA20 & GA21

All to Structural Engineer's details & specification.
 Slab saw cuts to be discussed & agreed on site with Structural Engineer.
 Re-entrant corner reinforcement as per Structural Engineer's plan.

READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S INFORMATION
SAW CUTS / CORNER REINFORCING AS PER ENGINEER'S INFO

SLAB & FLOOR FRAMING PLAN

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16/01/18	BC application	03
12/07/17	Survey added	02
18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:100 @ A3	Drawing Title: Slab & Floor Framing Plan	Drawing No: GA07
Drawn:MB/CH		

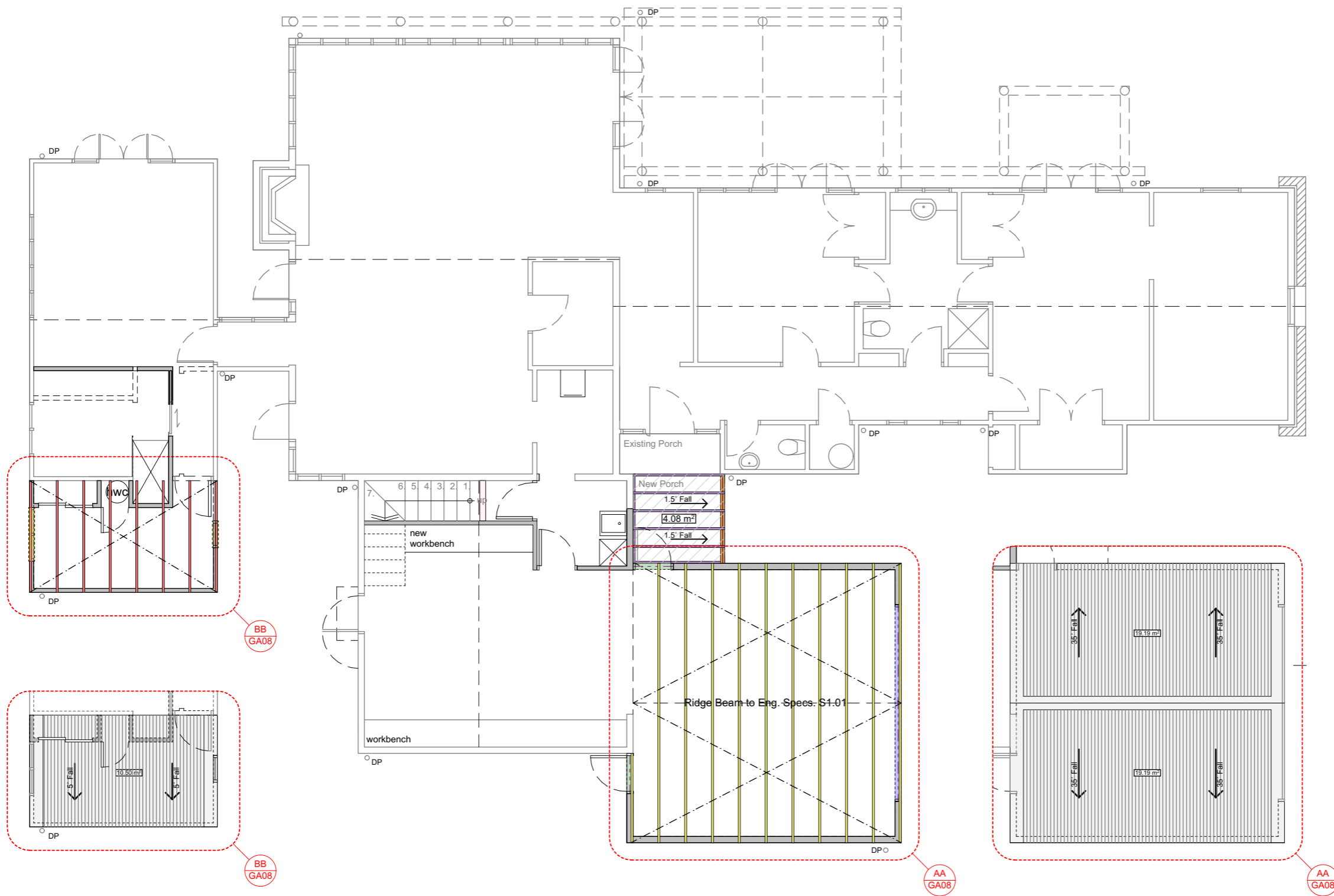
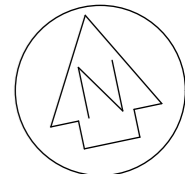


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LEGEND:

	existing timber framed
	wall
	remove existing timber
	framed wall
	new timber framed wall



LEGEND:

- Nuralite 3PM system, installed at 1.5°, to manufacturers specifications. Membrane on 18mm plywood. Refer Detail GD05
- LVL11 190x45mm rafters at 600mm crs max, fixings refer Eng. Spec. S1.01
- H1.2 SG8 140x45mm rafters at 480mm crs max
- H1.2 SG8 190x45mm rafters at nominal 600mm crs max
- 2/190x45mm H1.2 SG8
- Lumberlok Strap Brace
- Lintel to NZS 3604: 2011 as noted
- Lintel to Engineers Specifications
- Downpipe 75mm Colorsteel. Colour: River Gum

Existing roof area = 237.12m²
 Proposed New Roof Areas = 52.96m²
 Total New Roof Area = 290.08m²

All roof penetration to be colorsteel/coloured to match 'River Gum'.

Read in conjunction with:-
 - Structural Engineer's design & specification
 - Structural Engineer's bracing plan

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18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN
 Alterations & Additions
 44 Coalpit Road, Gibbston Valley

Scale: 1:100 @ A3
 Drawing Title: Roof & Roof Framing Plan
 Drawing No: GA08

Drawn: MB/CH



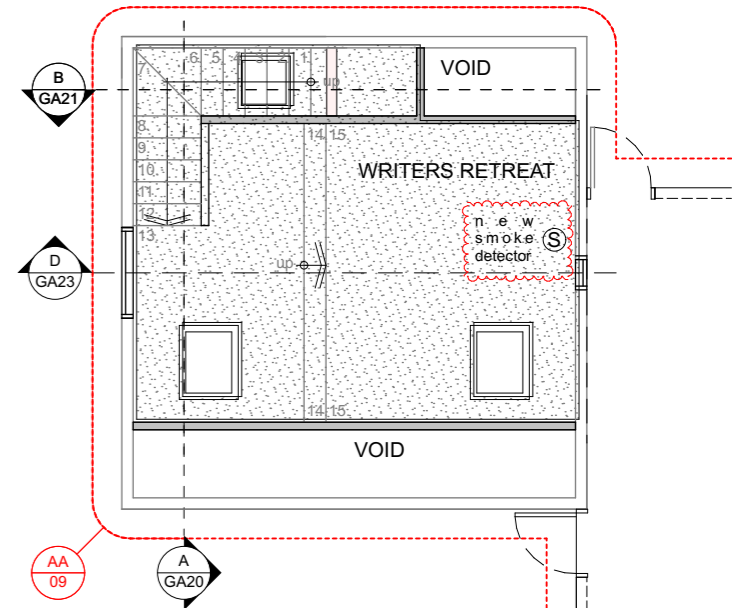
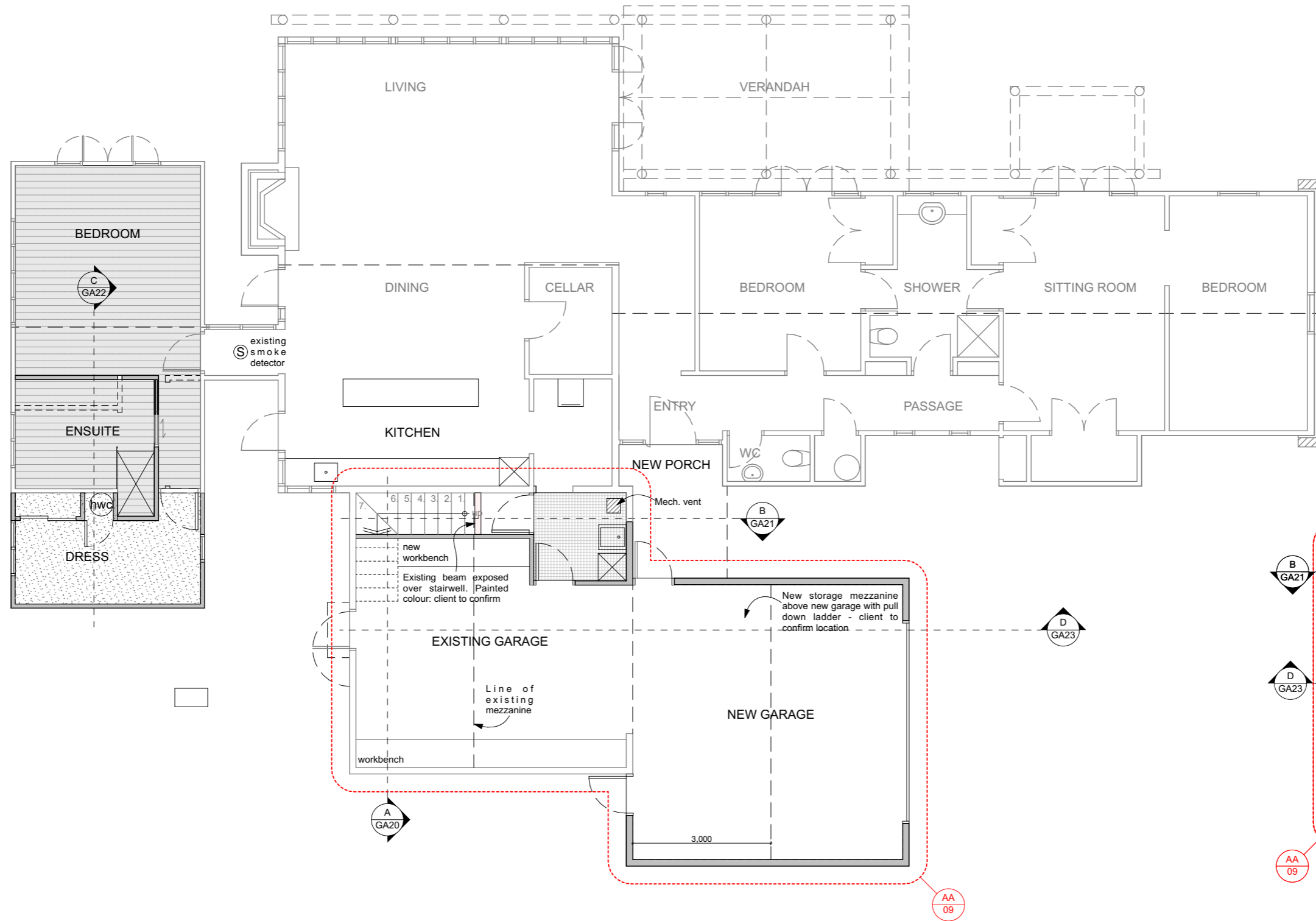
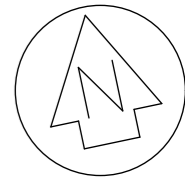
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 Confirm all dimensions on site prior to construction.
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ROOF & ROOF FRAMING PLAN

LEGEND:

- existing timber framed
- wall remove existing timber
- framed wall
- new timber framed wall



LEGEND:

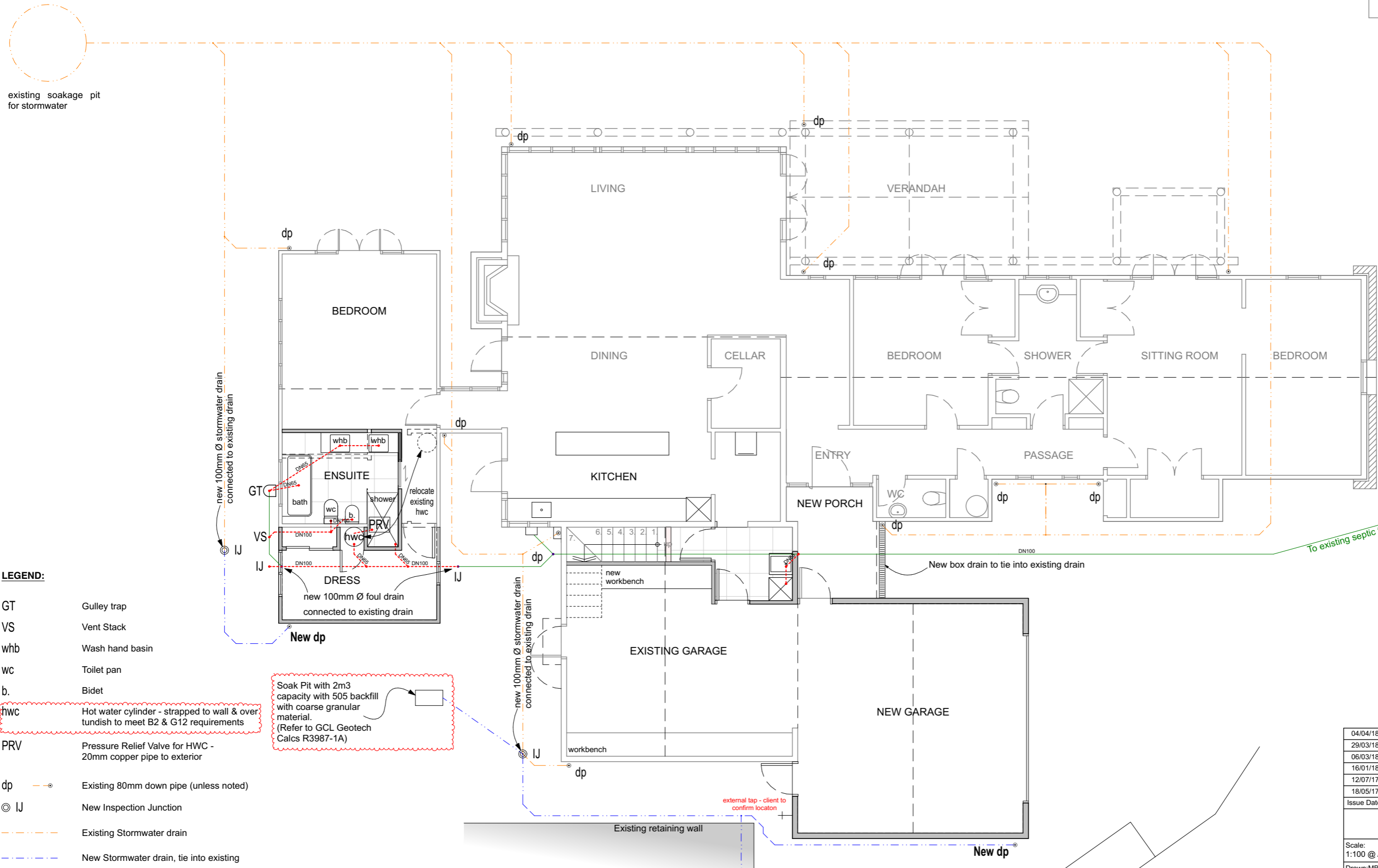
- 13mm GIB Standard square stopped, Level 4 finish, height above FSL as noted
- Existing T&G. Once walls are moved make good. Colour: Alabaster (white-wash effect).
- Raking 13mm GIB Standard square stopped, Level 4 finish
- Ceiling-mounted smoke detector
- Mechanical Vent from Laundry to roof. Position to be determined on site

Note: Lighting & Electrical shown separately

REFLECTED CEILING PLAN

04/04/18	Soakage pit connected to Stormwater	06
29/03/18	Soakage pit added to rear courtyard	05
06/03/18	RFI's	04
16/01/18	BC application	03
12/07/17	Survey added	02
18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:
SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:100 @ A3	Drawing Title: Reflected Ceiling Plan	Drawing No: GA09
 WYATT + GRAY architects		
+64 3 442 8709 michael@wyattarchitect.co.nz		
Do not scale off print - refer to figured dimensions. Refer to larger details where possible. Confirm all dimensions on site prior to construction. Consult with Architect immediately if discrepancies are found.		

	existing timber framed
	wall remove existing timber
	framed wall
	new timber framed wall



LEGEND:

GT Gulley trap
 VS Vent Stack
 whb Wash hand basin
 wc Toilet pan
 b. Bidet
 hwc Hot water cylinder - strapped to wall & over tundish to meet B2 & G12 requirements
 PRV Pressure Relief Valve for HWC - 20mm copper pipe to exterior
 dp Existing 80mm down pipe (unless noted)
 IJ New Inspection Junction
 Existing Stormwater drain
 New Stormwater drain, tie into existing
 Foul drain - existing
 Foul drain - tie-in
 DN65 New 65mm dia. UPVC Sewer pipe, minimum 1 in 40 falls.
 DN100 New 100mm dia. UPVC Sewer pipe, minimum 1 in 60 falls.

Soak Pit with 2m3 capacity with 505 backfill with coarse granular material. (Refer to GCL Geotech Calcs R3987-1A)

New 100mm Ø Novaflo Drainage Coil wrapped in geotextile. Refer GA20 Section A & Eng detail 5, S101

Note:
Drawing does not show existing in-slab plumbing

Read in Conjunction with Site Plan.
 ALL SERVICE PIPELINES SHOWN ARE APPROXIMATE ONLY
 Stormwater installation shall comply with the requirements of NZBC E1/AS1
 Sanitary & Drainage system installation shall comply with the requirements of G13/AS1
 Hot water pipe installation shall comply with the requirements of NZS4305:1996
 Final locations will be determined by the drain layer & specialist installer on site.
 Accurate As-Built drawings will be provided to the Territorial Authorities once all drainage work is complete.

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Issue Date:	Issue:	No:

SUSSMAN
 Alterations & Additions
 44 Coalpit Road, Gibbston Valley

Scale: 1:100 @ A3
 Drawing Title: Plumbing & Drainage Plan
 Drawn: MB/CH

Drawing No: **GA10**

WYATT + GRAY
 architects

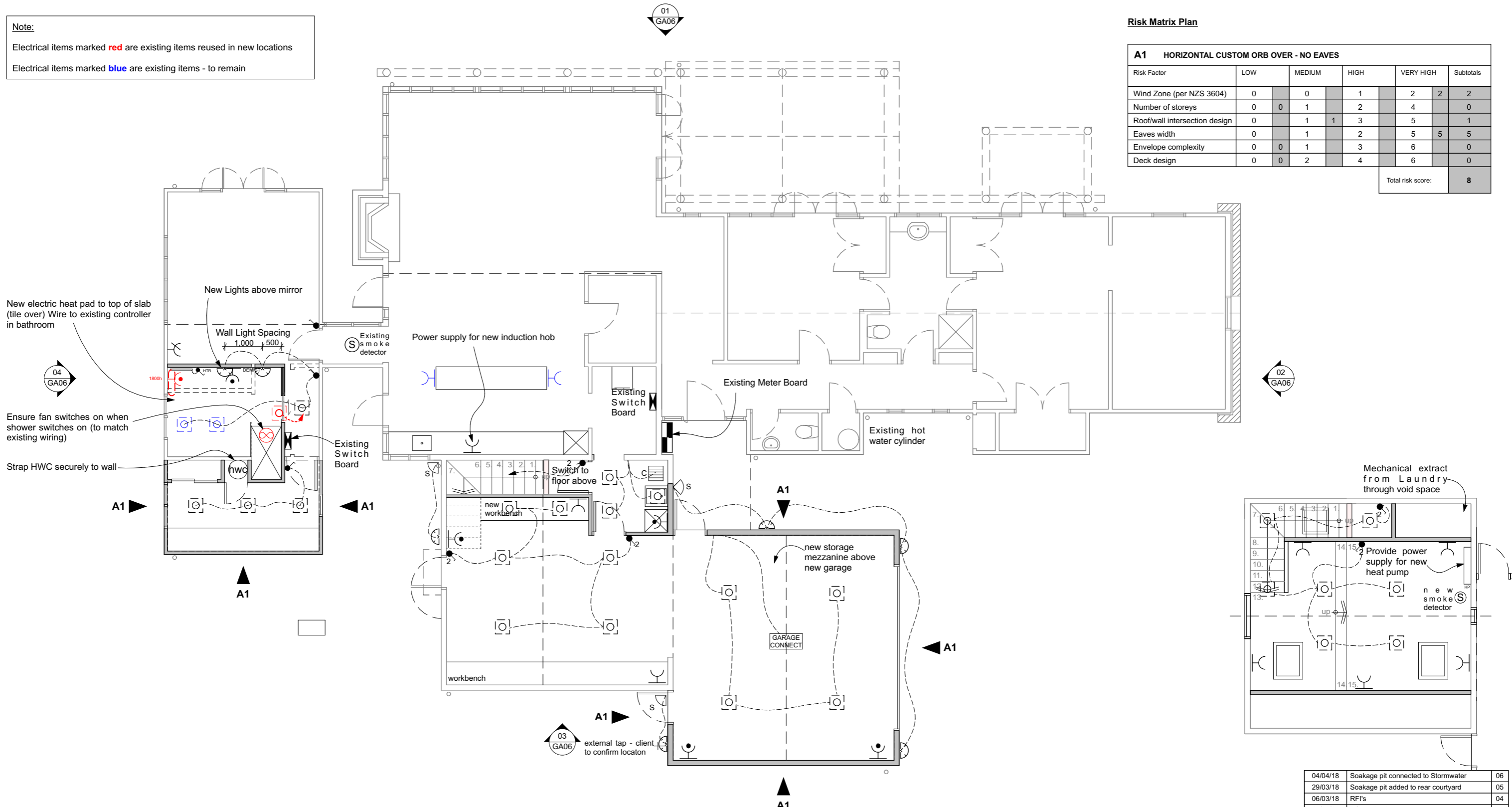
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 michael@wyattarchitect.co.nz

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Note:
 Electrical items marked **red** are existing items reused in new locations
 Electrical items marked **blue** are existing items - to remain

Risk Matrix Plan

A1 HORIZONTAL CUSTOM ORB OVER - NO EAVES							
Risk Factor	LOW	MEDIUM	HIGH	VERY HIGH	Subtotals		
Wind Zone (per NZS 3604)	0	0	1	2	2	2	2
Number of storeys	0	0	1	2	4	0	0
Roof/wall intersection design	0	1	1	3	5	1	1
Eaves width	0	1	2	2	5	5	5
Envelope complexity	0	0	1	3	6	0	0
Deck design	0	0	2	4	6	0	0
Total risk score:							8



Electrical Legend

	Existing Meter Board		Double Power Point		Heat pump
	Existing Switch Board		RCD socket outlet		Ceiling mounted mechanical extract fan with auto-closing shutters
	Switching line		Heated Towel Rail		Wall mounted mechanical extract fan with auto-closing shutters
	Light Switch (typical 1000mm above FFL)		Bathroom fan heater		Ceiling-mounted smoke detector
	2 way Light Switch (typical 1000mm above FFL)		Demister pad behind mirror with switch		Provide ceiling power point for garage door to location specified by manufacturer
	Recessed 13W LED fixed ceiling downlight with coverable dimmable driver		TV Sky / Freeview Jack		Sensor-activated light with switched override
	Wall Mounted Light		Double Data/ Telephone Socket		Extract Fan
	LED strip light				

LEGEND:

- existing timber framed
- wall remove existing timber
- framed wall
- new timber framed wall

ELECTRICAL & RISK MATRIX PLAN

04/04/18	Soakage pit connected to Stormwater	06
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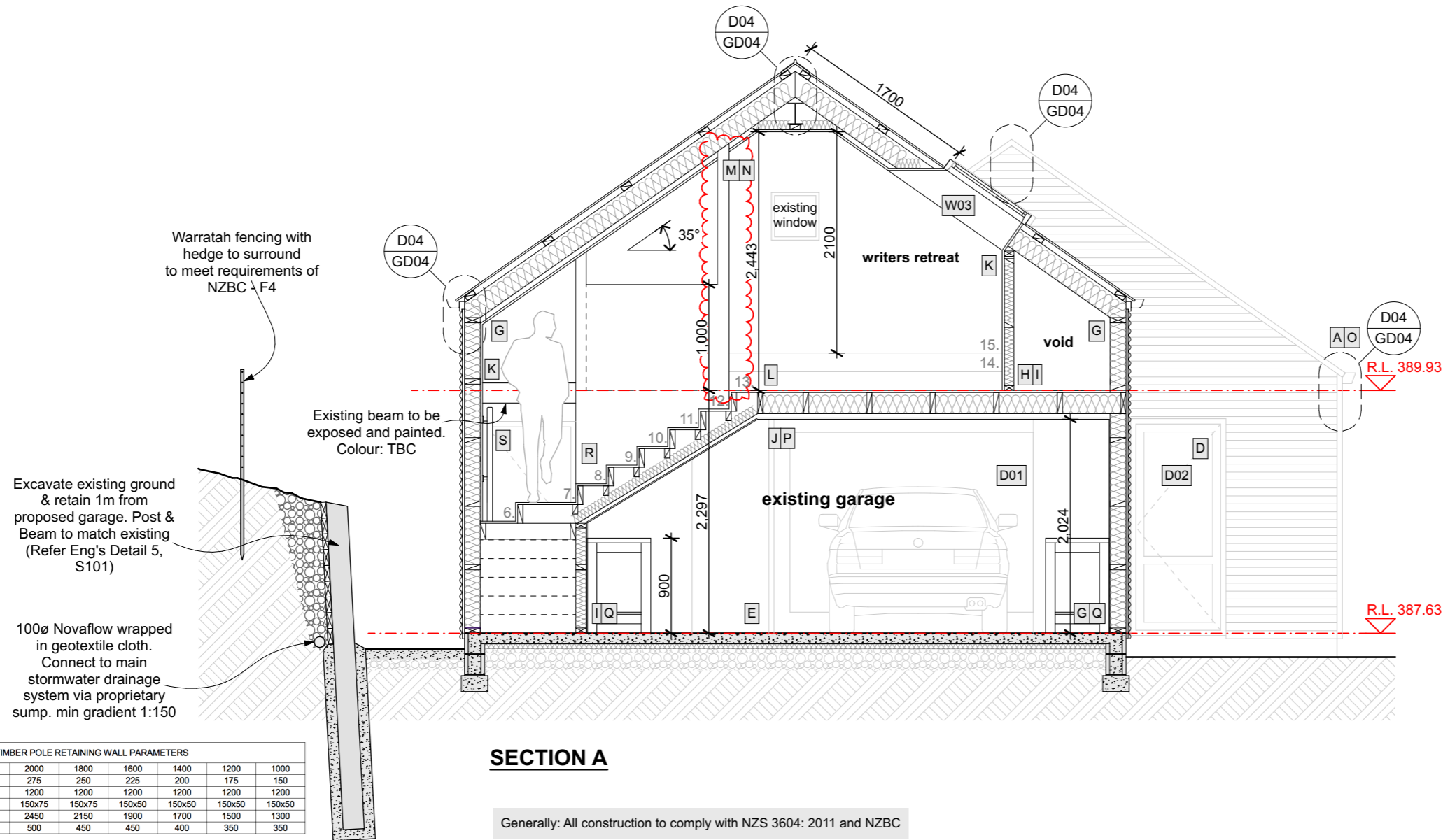
SUSSMAN
 Alterations & Additions
 44 Coalpit Road, Gibbston Valley

Scale: 1:100 @ A3	Drawing Title: Electrical & Risk Matrix Plan	Drawing No: GA11
Drawn: MB/CH		

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TIMBER POLE RETAINING WALL PARAMETERS						
HEIGHT H (mm)	2000	1800	1600	1400	1200	1000
POLE S.E.D (mm)	275	250	225	200	175	150
POLE CENTRES (mm)	1200	1200	1200	1200	1200	1200
RAILS (DxB mm or dia. mm)	150x75	150x75	150x50	150x50	150x50	150x50
EMBEDMENT DEPTH D (mm)	2450	2150	1900	1700	1500	1300
HOLE DIA A (mm)	500	450	450	400	350	350

SECTION A

Generally: All construction to comply with NZS 3604: 2011 and NZBC

- | | |
|--|---|
| <p>A 0.55mm Colorsteel Endura. Colour: River Gum. Roof underlay on H1.2 70x45mm timber battens at max 900crs fixed to rafters with 1/14g self-drilling type 17 screw -100mm long min.</p> <p>B H1.2 dummy 90x45mm rafters at nominal 600mm crs on, 150x25mm shiplap boards on certified SED H1.2 140x45mm rafters at nominal 600mm crs</p> <p>C Nuralite 3PM system (1.5mm Black), on 18mm H3.2 CCA-treated ply with tight-butted fully-supported edges, laid to specified fall of 1.5° on H1.2 SG8 framing at max 400mm crs each way. Allow for substrate ventilation to manufacturer's recommendations (locations TBC on site).</p> <p>D Thermally-broken aluminum joinery, double glazed safety glazing. Argon fill. Refer schedule. Powder coat finish: To Match Colorsteel - River Gum</p> <p>E 100mm 20kPa concrete slab on 50mm polystyrene insulation on DPM on min 25mm sand blinding on min 150 compacted hardfill. Slab thickenings at perimeter and under load bearing walls. All to Engineer's details. Slab tie-in, D12 Starter bars grouted into existing slab at 600crs.</p> <p>F Certified SED pre-nail H1.2 framing, 140x45mm. Fixed over Malthoid DPC to concrete with Ramset CS12160 (M12x160) ChemSet Anchor Studs at 600mm crs.</p> <p>G Knauf Earthwool 140mm R3.6 insulation to external wall framing.</p> <p>H Certified SED pre-nail H1.2 framing, 90x45mm. Fixed over Malthoid DPC to concrete with Ramset CS12160 (M12x160) ChemSet Anchor Studs at 600mm crs.</p> <p>I Knauf Earthwool 90mm R2.8 insulation to wall framing.</p> | <p>J Floor framing: Varies, as per Engineers specification S1.01</p> <p>K 10mm GIB Standard internal wall linings, square stopped, Level 4 finish. Painted MDF skirtings as per Client Selection Sheets. Existing Paint - Half Solitaire. En suite walls to have 10mm Aqualine.</p> <p>L 20mm HD (flooring grade) particleboard sheet flooring. H1.2 SG8 190x45mm trimmer joists @ max 600mm crs. Knauf Earthwool 175mm R3.6 insulation between joists.</p> <p>M Knauf Earthwool 175mm R3.6 insulation to roofspace above.</p> <p>M1 Knauf Earthwool 130mm R3.3 commercial insulation to roofspace above.</p> <p>N 13mm GIB Standard ceiling.</p> <p>O Colorsteel 125 gutters, 75 x 55mm downpipes, 25x110mm fascias boards, ridge flashings, all colour-matched to roof. All to NZBC E2 & manufacturer's details.</p> <p>P Sectional slide over door, remote operation. Re-use existing.</p> <p>Q 7mm Ecoply CD sheet, internal wall lining to garage only</p> <p>R MDF timber treads & risers, with concealed stringers. Pitch 34°, Tread = 290, Riser = 177, Nosing = 20, Height = 2297. All to NZBC D1. 50mm timber handrail 950h, fixed with Miles Nelson, C309 bannister bracket, fixed to wall studs.</p> <p>S 50mm dia. oak handrail fixed through to solid blocking in framed wall with suitable baluster brackets @ 900ctrs. All to NZBC D1.</p> <p>T New porch slab falls to Channel drain to existing downpipe run-off. All to NZBC E1.</p> |
|--|---|

General notes: * Refer Engineer's Bracing Plan - Bracing Plan will take precedence in the event of any discrepancies in specified wraps / linings

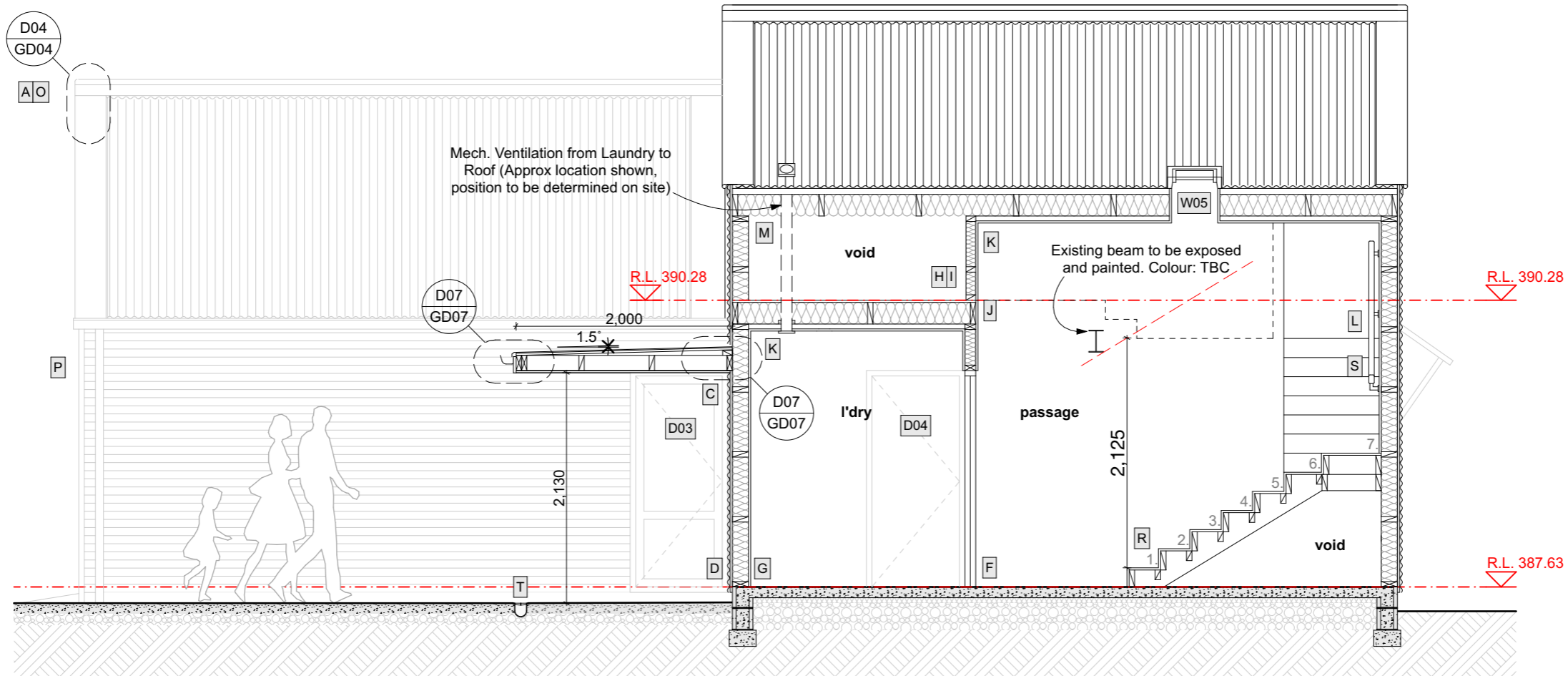
04/04/18	Soakage pit connected to Stormwater	06
29/03/18	Soakage pit added to rear courtyard	05
06/03/18	RFI's	04
16/01/18	BC application	03
12/07/17	Survey added	02
18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:50 @ A3	Drawing Title: Sections A	Drawing No: GA20
Drawn: MB/CH		



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Do not scale off print - refer to figured dimensions.
Refer to larger details where possible.
Confirm all dimensions on site prior to construction.
Consult with Architect immediately if discrepancies are found.



SECTION B

Generally: All construction to comply with NZS 3604: 2011 and NZBC

- | | |
|--|---|
| <p>A 0.55mm Colorsteel Endura. Colour: River Gum. Roof underlay on H1.2 70x45mm timber battens at max 900crs fixed to rafters with 1/14g self-drilling type 17 screw -100mm long min.</p> <p>B H1.2 dummy 90x45mm rafters at nominal 600mm crs on, 150x25mm shiplap boards on certified SED H1.2 140x45mm rafters at nominal 600mm crs</p> <p>C Nuralite 3PM system (1.5mm Black), on 18mm H3.2 CCA-treated ply with tight-butted fully-supported edges, laid to specified fall of 1.5° on H1.2 SG8 framing at max 400mm crs each way. Allow for substrate ventilation to manufacturer's recommendations (locations TBC on site).</p> <p>D Thermally-broken aluminum joinery, double glazed safety glazing. Argon fill. Refer schedule. Powder coat finish: To Match Colorsteel - River Gum</p> <p>E 100mm 20kPA concrete slab on 50mm polystyrene insulation on DPM on min 25mm sand blinding on min 150 compacted hardfill. Slab thickenings at perimeter and under load bearing walls. All to Engineer's details. Slab tie-in, D12 Starter bars grouted into existing slab at 600crs.</p> <p>F Certified SED pre-nail H1.2 framing, 140x45mm. Fixed over Malthoid DPC to concrete with Ramset CS12160 (M12x160) ChemSet Anchor Studs at 600mm crs.</p> <p>G Knauf Earthwool 140mm R3.6 insulation to external wall framing.</p> <p>H Certified SED pre-nail H1.2 framing, 90x45mm. Fixed over Malthoid DPC to concrete with Ramset CS12160 (M12x160) ChemSet Anchor Studs at 600mm crs.</p> <p>I Knauf Earthwool 90mm R2.8 insulation to wall framing.</p> | <p>J Floor framing: Varies, as per Engineers specification S1.01</p> <p>K 10mm GIB Standard internal wall linings, square stopped, Level 4 finish. Painted MDF skirtings as per Client Selection Sheets. Existing Paint - Half Solitaire. En suite walls to have 10mm Aqualine.</p> <p>L 20mm HD (flooring grade) particleboard sheet flooring. H1.2 SG8 190x45mm trimmer joists @ max 600mm crs. Knauf Earthwool 175mm R3.6 insulation between joists.</p> <p>M Knauf Earthwool 175mm R3.6 insulation to roofspace above.</p> <p>M1 Knauf Earthwool 130mm R3.3 commercial insulation to roofspace above.</p> <p>N 13mm GIB Standard ceiling.</p> <p>O Colorsteel 125 gutters, 75 x 55mm downpipes, 25x110mm fascias boards, ridge flashings, all colour-matched to roof. All to NZBC E2 & manufacturer's details.</p> <p>P Sectional slide over door, remote operation. Re-use existing.</p> <p>Q 7mm Ecoply CD sheet, internal wall lining to garage only</p> <p>R MDF timber treads & risers, with concealed stringers. Pitch 34°, Tread = 290, Riser = 177, Nosing = 20, Height = 2297. All to NZBC D1. 50mm timber handrail 950h, fixed with Miles Nelson, C309 bannister bracket, fixed to wall studs.</p> <p>S 50mm dia. oak handrail fixed through to solid blocking in framed wall with suitable baluster brackets @ 900ctrs. All to NZBC D1.</p> <p>T New porch slab falls to Channel drain to existing downpipe run-off. All to NZBC E1.</p> |
|--|---|

General notes: * Refer Engineer's Bracing Plan - Bracing Plan will take precedence in the event of any discrepancies in specified wraps / linings

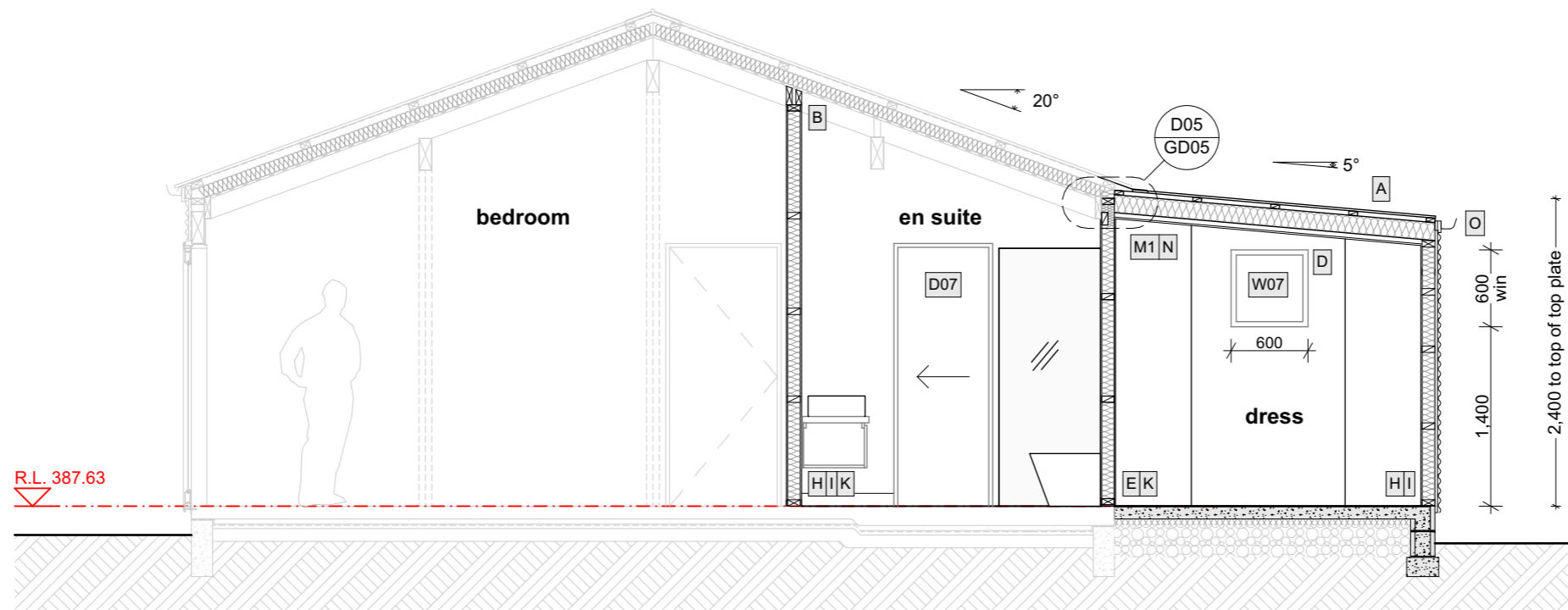
04/04/18	Soakage pit connected to Stormwater	06
29/03/18	Soakage pit added to rear courtyard	05
06/03/18	RFI's	04
16/01/18	BC application	03
12/07/17	Survey added	02
18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:50 @ A3	Drawing Title: Sections B	Drawing No: GA21
Drawn: MB/CH		



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Do not scale off print - refer to figured dimensions.
Refer to larger details where possible.
Confirm all dimensions on site prior to construction.
Consult with Architect immediately if discrepancies are found.



SECTION C

Generally: All construction to comply with NZS 3604: 2011 and NZBC

- | | |
|--|--|
| <p>A 0.55mm Colorsteel Endura. Colour: River Gum. Roof underlay on H1.2 70x45mm timber battens at max 900crs fixed to rafters with 1/14g self-drilling type 17 screw -100mm long min.</p> <p>B H1.2 dummy 90x45mm rafters at nominal 600mm crs on, 150x25mm shiplap boards on certified SED H1.2 140x45mm rafters at nominal 600mm crs</p> <p>C Nuralite 3PM system (1.5mm Black), on 18mm H3.2 CCA-treated ply with tight-butted fully-supported edges, laid to specified fall of 1.5° on H1.2 SG8 framing at max 400mm crs each way. Allow for substrate ventilation to manufacturer's recommendations (locations TBC on site).</p> <p>D Thermally-broken aluminum joinery, double glazed safety glazing. Argon fill. Refer schedule. Powder coat finish: To Match Colorsteel - River Gum</p> <p>E 100mm 20kPA concrete slab on 50mm polystyrene insulation on DPM on min 25mm sand blinding on min 150 compacted hardfill. Slab thickenings at perimeter and under load bearing walls. All to Engineer's details. Slab tie-in, D12 Starter bars grouted into existing slab at 600crs.</p> <p>F Certified SED pre-nail H1.2 framing, 140x45mm. Fixed over Malthoid DPC to concrete with Ramset CS12160 (M12x160) ChemSet Anchor Studs at 600mm crs.</p> <p>G Knauf Earthwool 140mm R3.6 insulation to external wall framing.</p> <p>H Certified SED pre-nail H1.2 framing, 90x45mm. Fixed over Malthoid DPC to concrete with Ramset CS12160 (M12x160) ChemSet Anchor Studs at 600mm crs.</p> <p>I Knauf Earthwool 90mm R2.8 insulation to wall framing.</p> | <p>J Floor framing: Varies, as per Engineers specification S1.01</p> <p>K 10mm GIB Standard internal wall linings, square stopped, Level 4 finish. Painted MDF skirtings as per Client Selection Sheets. Existing Paint - Half Solitaire. En suite walls to have 10mm Aqualine.</p> <p>L 20mm HD (flooring grade) particleboard sheet flooring. H1.2 SG8 190x45mm trimmer joists @ max 600mm crs. Knauf Earthwool 175mm R3.6 insulation between joists.</p> <p>M Knauf Earthwool 175mm R3.6 insulation to roofspace above.</p> <p>M1 Knauf Earthwool 130mm R3.3 commercial insulation to roofspace above.</p> <p>N 13mm GIB Standard ceiling.</p> <p>O Colorsteel 125 gutters, 75 x 55mm downpipes, 25x110mm fascias boards, ridge flashings, all colour-matched to roof. All to NZBC E2 & manufacturer's details.</p> <p>P Sectional slide over door, remote operation. Re-use existing.</p> <p>Q 7mm Ecoply CD sheet, internal wall lining to garage only</p> <p>R MDF timber treads & risers, with concealed stringers. Pitch 34°, Tread = 290, Riser = 177, Nosing = 20, Height = 2297. All to NZBC D1. 50mm timber handrail 950h, fixed with Miles Nelson, C309 bannister bracket, fixed to wall studs.</p> <p>S 50mm dia. oak handrail fixed through to solid blocking in framed wall with suitable baluster brackets @ 900crs. All to NZBC D1.</p> <p>T New porch slab falls to Channel drain to existing downpipe run-off. All to NZBC E1.</p> |
|--|--|

General notes: * Refer Engineer's Bracing Plan - Bracing Plan will take precedence in the event of any discrepancies in specified wraps / linings

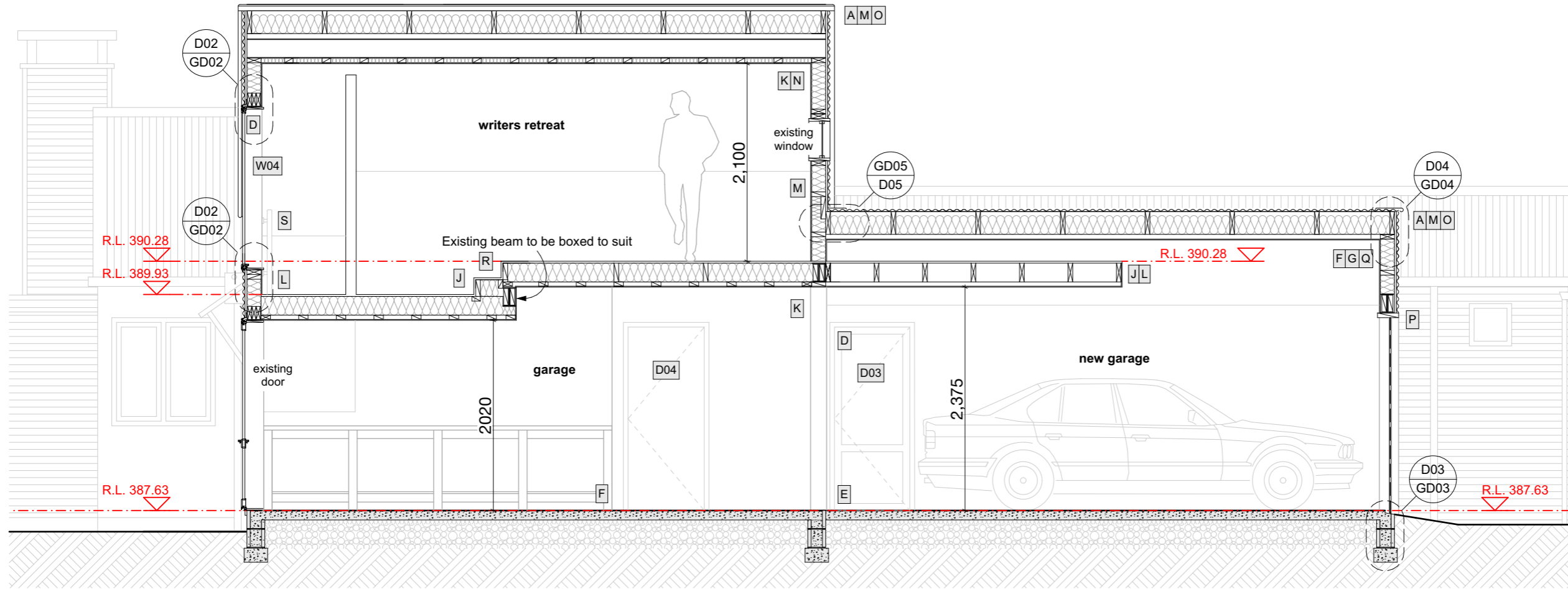
04/04/18	Soakage pit connected to Stormwater	06
29/03/18	Soakage pit added to rear courtyard	05
06/03/18	RFI's	04
16/01/18	BC application	03
12/07/17	Survey added	02
18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:50 @ A3	Drawing Title: Section C	Drawing No: GA22
Drawn: MB/CH		



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Do not scale off print - refer to figured dimensions.
Refer to larger details where possible.
Confirm all dimensions on site prior to construction.
Consult with Architect immediately if discrepancies are found.



SECTION D

Generally: All construction to comply with NZS 3604: 2011 and NZBC

- | | |
|--|--|
| <p>A 0.55mm Colorsteel Endura. Colour: River Gum. Roof underlay on H1.2 70x45mm timber battens at max 900crs fixed to rafters with 1/14g self-drilling type 17 screw -100mm long min.</p> <p>B H1.2 dummy 90x45mm rafters at nominal 600mm crs on, 150x25mm shiplap boards on certified SED H1.2 140x45mm rafters at nominal 600mm crs</p> <p>C Nuralite 3PM system (1.5mm Black), on 18mm H3.2 CCA-treated ply with tight-butted fully-supported edges, laid to specified fall of 1.5° on H1.2 SG8 framing at max 400mm crs each way. Allow for substrate ventilation to manufacturer's recommendations (locations TBC on site).</p> <p>D Thermally-broken aluminum joinery, double glazed safety glazing. Argon fill. Refer schedule. Powder coat finish: To Match Colorsteel - River Gum</p> <p>E 100mm 20kPA concrete slab on 50mm polystyrene insulation on DPM on min 25mm sand blinding on min 150 compacted hardfill. Slab thickenings at perimeter and under load bearing walls. All to Engineer's details. Slab tie-in, D12 Starter bars grouted into existing slab at 600crs.</p> <p>F Certified SED pre-nail H1.2 framing, 140x45mm. Fixed over Malthoid DPC to concrete with Ramset CS12160 (M12x160) ChemSet Anchor Studs at 600mm crs.</p> <p>G Knauf Earthwool 140mm R3.6 insulation to external wall framing.</p> <p>H Certified SED pre-nail H1.2 framing, 90x45mm. Fixed over Malthoid DPC to concrete with Ramset CS12160 (M12x160) ChemSet Anchor Studs at 600mm crs.</p> <p>I Knauf Earthwool 90mm R2.8 insulation to wall framing.</p> | <p>J Floor framing: Varies, as per Engineers specification S1.01</p> <p>K 10mm GIB Standard internal wall linings, square stopped, Level 4 finish. Painted MDF skirtings as per Client Selection Sheets. Existing Paint - Half Solitaire. En suite walls to have 10mm Aqualine.</p> <p>L 20mm HD (flooring grade) particleboard sheet flooring. H1.2 SG8 190x45mm trimmer joists @ max 600mm crs. Knauf Earthwool 175mm R3.6 insulation between joists.</p> <p>M Knauf Earthwool 175mm R3.6 insulation to roofspace above.</p> <p>M1 Knauf Earthwool 130mm R3.3 commercial insulation to roofspace above.</p> <p>N 13mm GIB Standard ceiling.</p> <p>O Colorsteel 125 gutters, 75 x 55mm downpipes, 25x110mm fascias boards, ridge flashings, all colour-matched to roof. All to NZBC E2 & manufacturer's details.</p> <p>P Sectional slide over door, remote operation. Re-use existing.</p> <p>Q 7mm Ecoply CD sheet, internal wall lining to garage only</p> <p>R MDF timber treads & risers, with concealed stringers. Pitch 34°, Tread = 290, Riser = 177, Nosing = 20, Height = 2297. All to NZBC D1. 50mm timber handrail 950h, fixed with Miles Nelson, C309 bannister bracket, fixed to wall studs.</p> <p>S 50mm dia. oak handrail fixed through to solid blocking in framed wall with suitable baluster brackets @ 900crs. All to NZBC D1.</p> <p>T New porch slab falls to Channel drain to existing downpipe run-off. All to NZBC E1.</p> |
|--|--|

General notes: * Refer Engineer's Bracing Plan - Bracing Plan will take precedence in the event of any discrepancies in specified wraps / linings

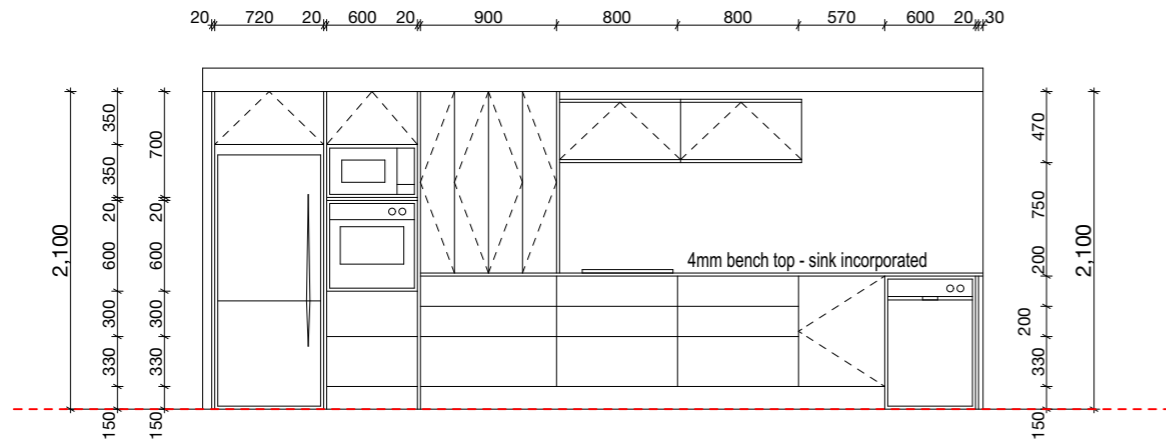
04/04/18	Soakage pit connected to Stormwater	06
29/03/18	Soakage pit added to rear courtyard	05
06/03/18	RFI's	04
16/01/18	BC application	03
12/07/17	Survey added	02
18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:50 @ A3	Drawing Title: Section D	Drawing No: GA23
Drawn: MB/CH		

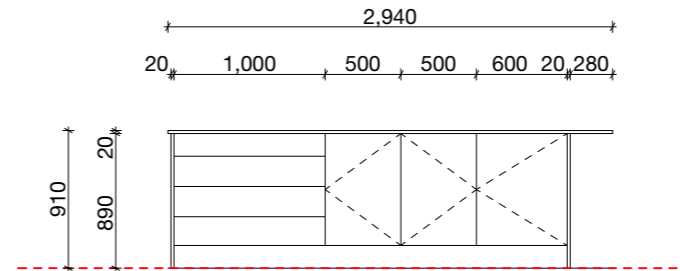


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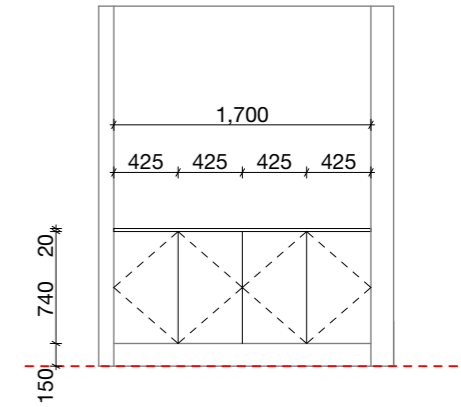
Do not scale off print - refer to figured dimensions.
Refer to larger details where possible.
Confirm all dimensions on site prior to construction.
Consult with Architect immediately if discrepancies are found.



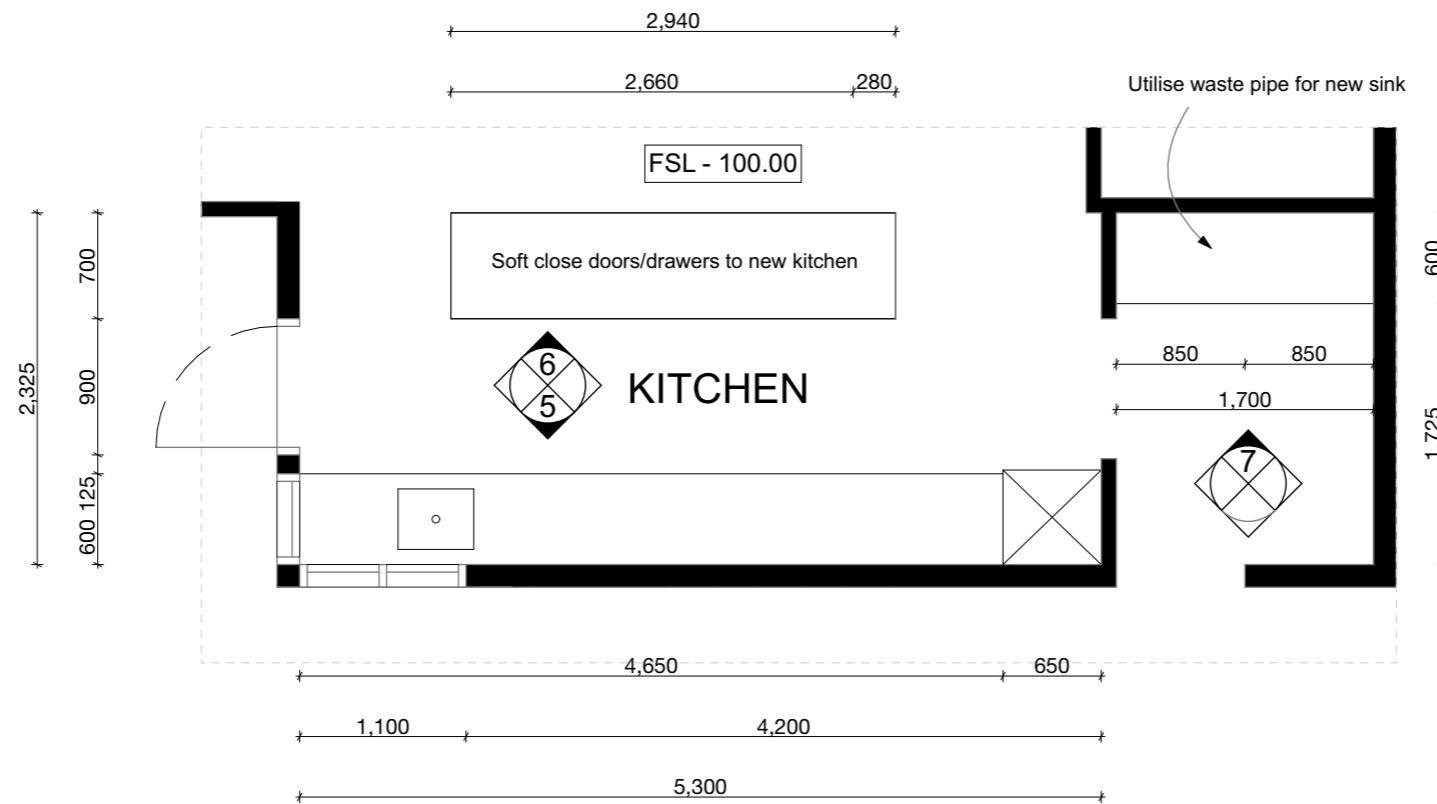
Elevation 5 - existing kitchen
Scale 1:50



Elevation 6 - existing island bench
Scale 1:50



Elevation 7 - new coffee station
Scale 1:50



Kitchen floorplan
Scale 1:50

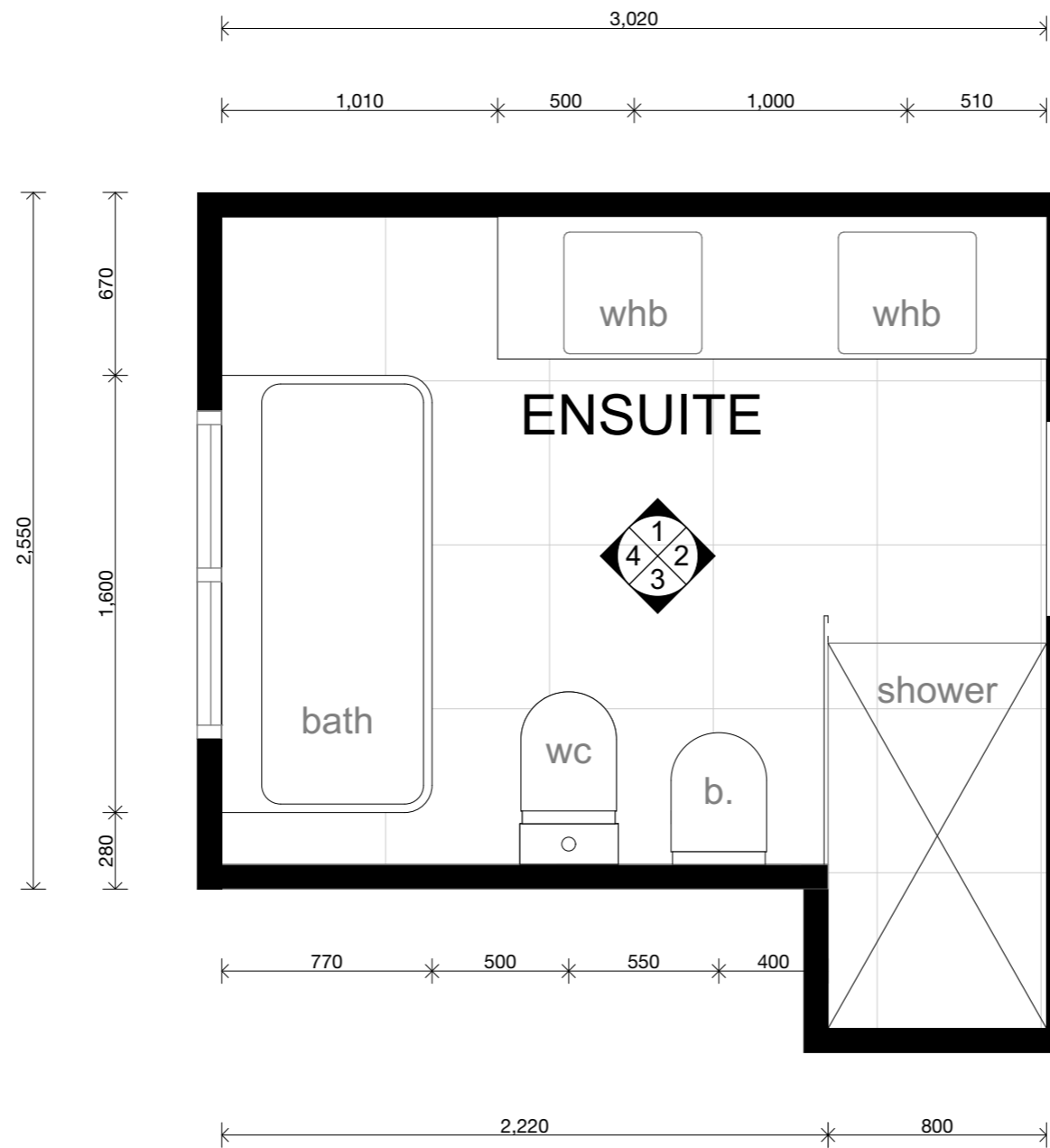
04/04/18	Soakage pit connected to Stormwater	06
29/03/18	Soakage pit added to rear courtyard	05
06/03/18	RFI's	04
16/01/18	BC application	03
12/07/17	Survey added	02
18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:50 @ A3	Drawing Title: Internal Elevations - kitchen & coffee station	Drawing No: GA30
Drawn: MB/CH		



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Do not scale off print - refer to figured dimensions.
Refer to larger details where possible.
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Consult with Architect immediately if discrepancies are found.



Schedule:

Re-usable items

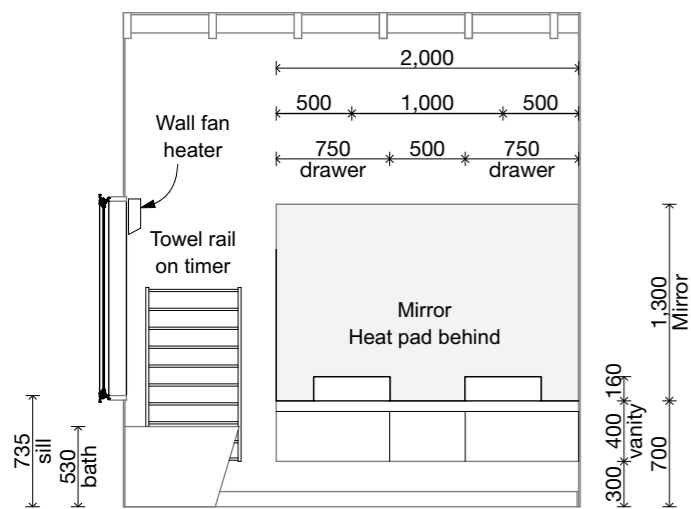
- Valsir - In wall Cistern
- Bellavista - Floor mounted toilet pan
- Hansgrohe - Shower Head
- Skope - Wall fan heater
- Underfloor heating controller

New items

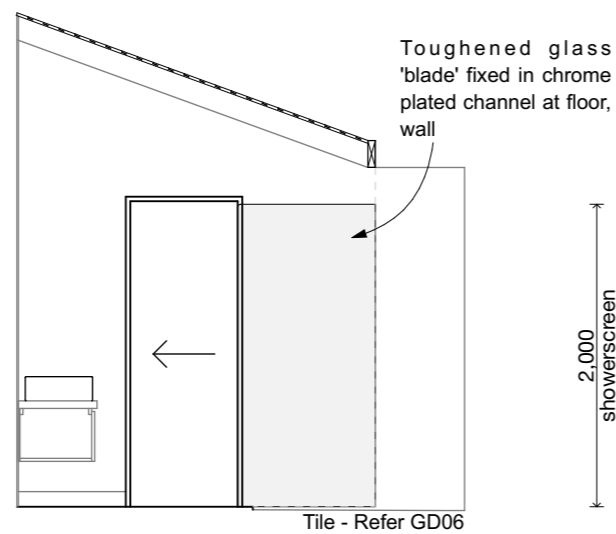
- Bath - Progetto - City Freestanding back to wall (CITFS1600)
- Catalano - SFERA - Floor mounted bidet (BISFN)
- Back Channel drain to shower - specify (2000hx900w)
- Shower screen
- Re-use whb and Taps? (whb - no match)
- Stanza furniture 2000 drawer unit (1000hx2000w)
- Mirror
- Heated towel rail

• Re-use whb and Taps (whb - no match)

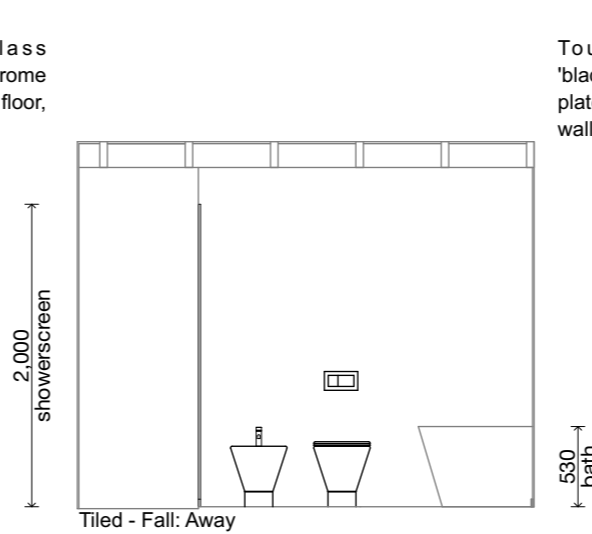
New en suite floorplan
Scale 1:25



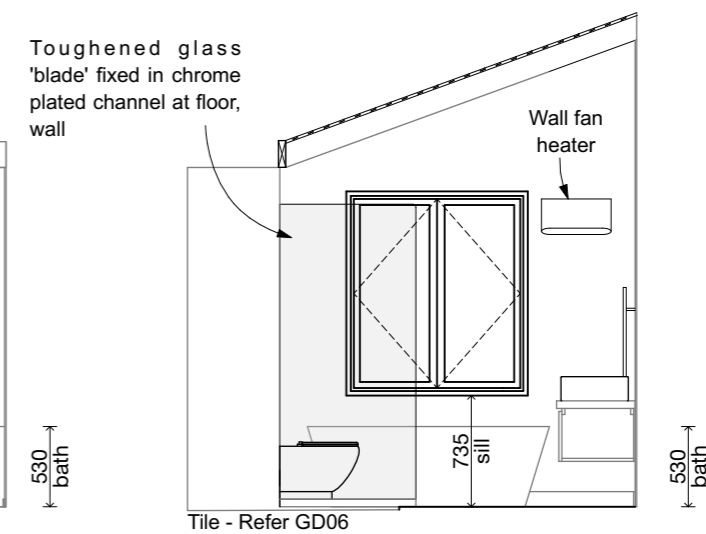
Elevation 1 - en suite
Scale 1:50



Elevation 2 - en suite
Scale 1:50



Elevation 3 - en suite
Scale 1:50



Elevation 4 - en suite
Scale 1:50

04/04/18	Soakage pit connected to Stormwater	06
29/03/18	Soakage pit added to rear courtyard	05
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16/01/18	BC application	03
12/07/17	Survey added	02
18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

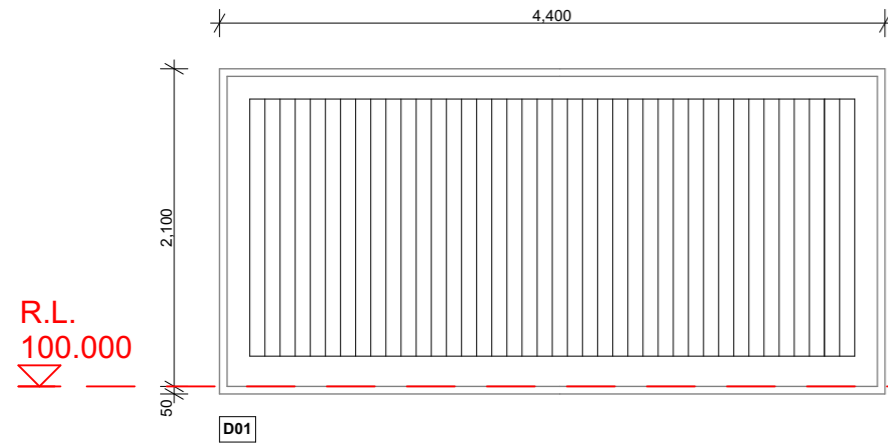
SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:50 @ A3	Drawing Title: Internal Elevations - en suite	Drawing No: GA31
Drawn: MB/CH		



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Do not scale off print - refer to figured dimensions.
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Consult with Architect immediately if discrepancies are found.

EXTERNAL DOORS

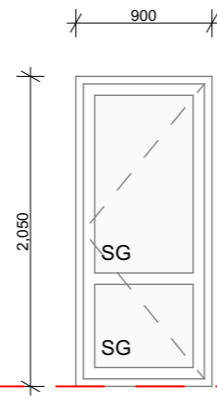


D01

1No OF (re-use)

Rebate in Slab - refer to GA07 & GD03

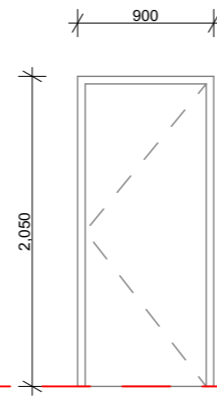
INTERNAL DOORS



D02 D03

2No OF

Rebate in Slab - refer to GA07

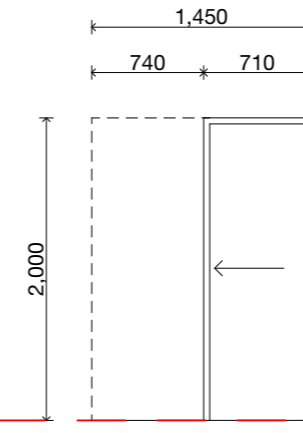


D04 D05 D06

780x1980 leaf

3No OF

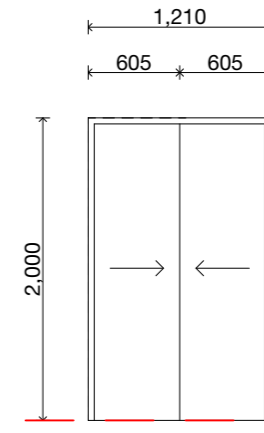
D04 & D05 - Lockable



D07

Pocket slider

1No OF

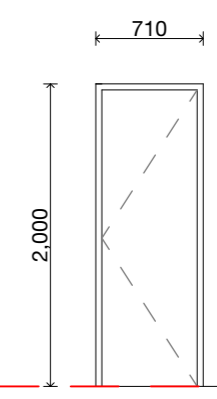


D08

Wardrobe slider

1No OF

Lockable



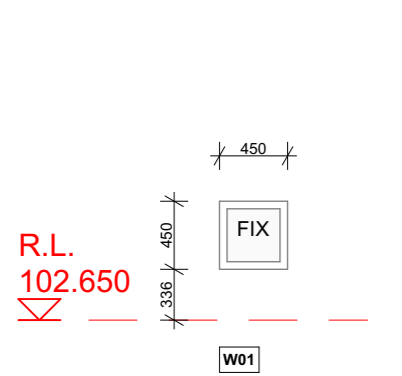
D09

710x1980 leaf

1No OF

Check HWC will fit

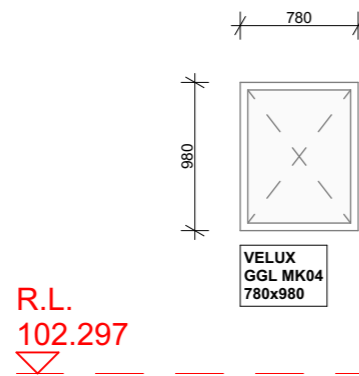
WINDOWS



W01

Existing - re-use (from W04 location)

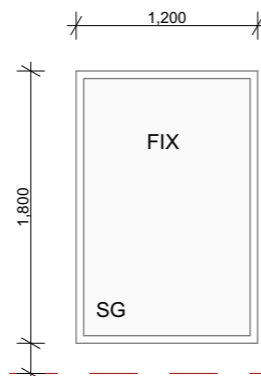
1No OF (re-use)



W02 W03

Pivot hinge

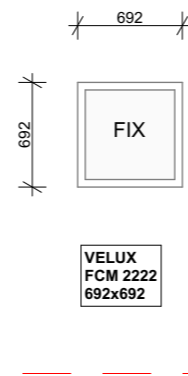
2No OF



W04

Thermal heart

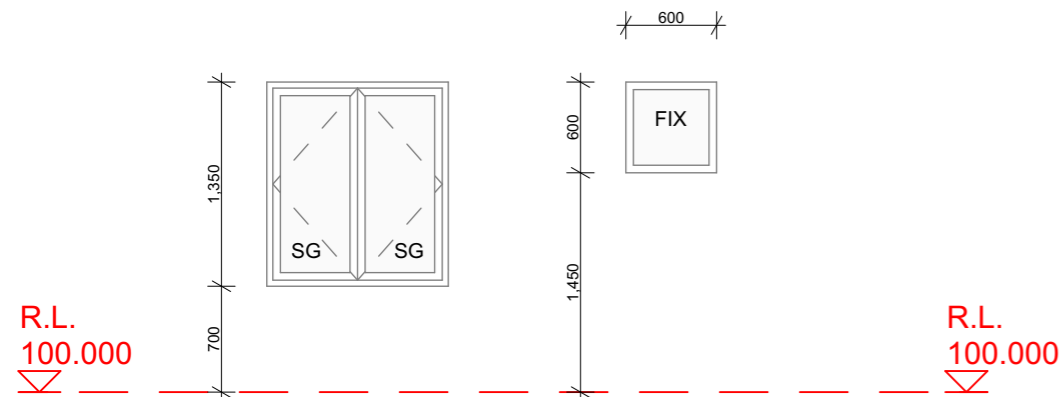
1No OF



W05

Fixed

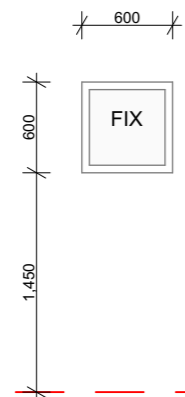
1No OF



W06

Thermal heart

1No OF



W07

Fixed

1No OF (re-use)

Existing - re-use (from Bedroom passage location)

GENERAL NOTES

- All dimensions given are overall structural framing openings u.n.o.
- Check all dimensions on site prior to fabrication
- Notify the architect immediately of any discrepancies
- Handing may vary from shown - refer to GA plans to determine door swing direction
- All elevations viewed from Exterior
- Windows and external doors to be APL Thermal Heart (Standard series) thermal break suite where noted
- Duralloy powder-coated aluminium joinery
- Double glazed (4mm clear glass / 12mm argon gap / 4mm glass)
- Grade A Safety Glass where required by NZBC F2 / NZS 422 (marked 'SG')
- Concealed safety stays / restrictors on all awning lights
- Wind Zone (under NZS 3604:2011) is Very High
- Check manufacturer's recommended maximum dimensions
- Painted H3 finger-jointed pine jamb liners

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12/07/17	Survey added	02
18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:50 @ A3	Drawing Title: Win/Door Schedule	Drawing No: GA40
Drawn: MB/CH		



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Do not scale off print - refer to figured dimensions.
Refer to larger details where possible.
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Consult with Architect immediately if discrepancies are found.

01 TYPICAL WALL CONSTRUCTION CORNER DETAILS

SCALE 1:5 @ A3

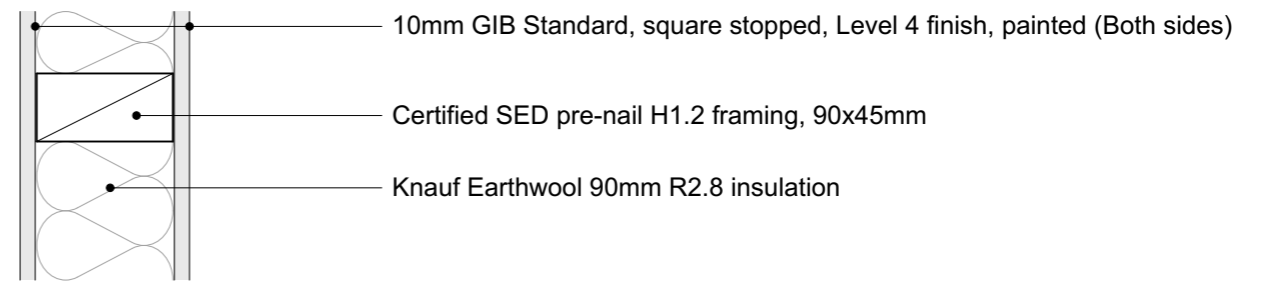
GENERAL NOTES

- To be read in conjunction with Structural Engineer's specification and details
- Read in conjunction with cladding manufacturer standard details
- Wall linings may vary subject to bracing requirements - refer Engineer Spec

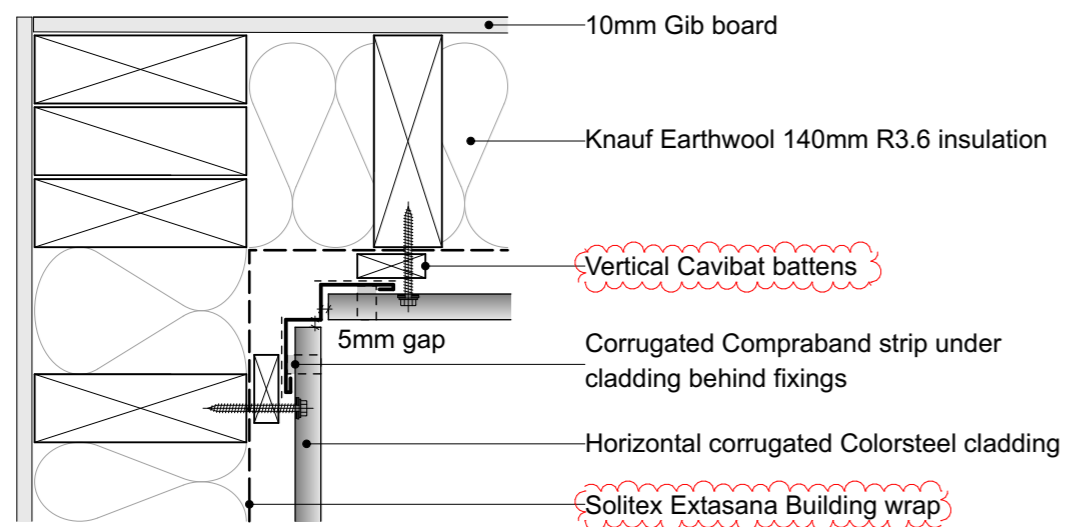
TYPICAL EXTERNAL WALLS (140mm shown here)



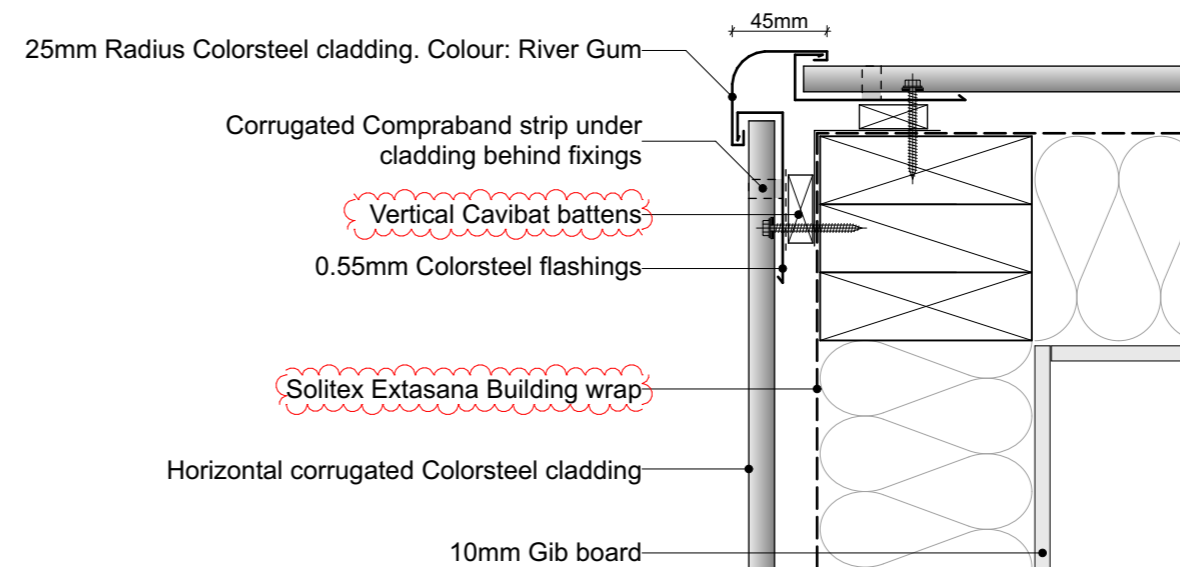
90mm INTERNAL WALL



TYPICAL INTERNAL CORNER



TYPICAL EXTERNAL CORNER



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18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:5 @ A3	Drawing Title: Details	Drawing No: GD01
Drawn: MB/CH		



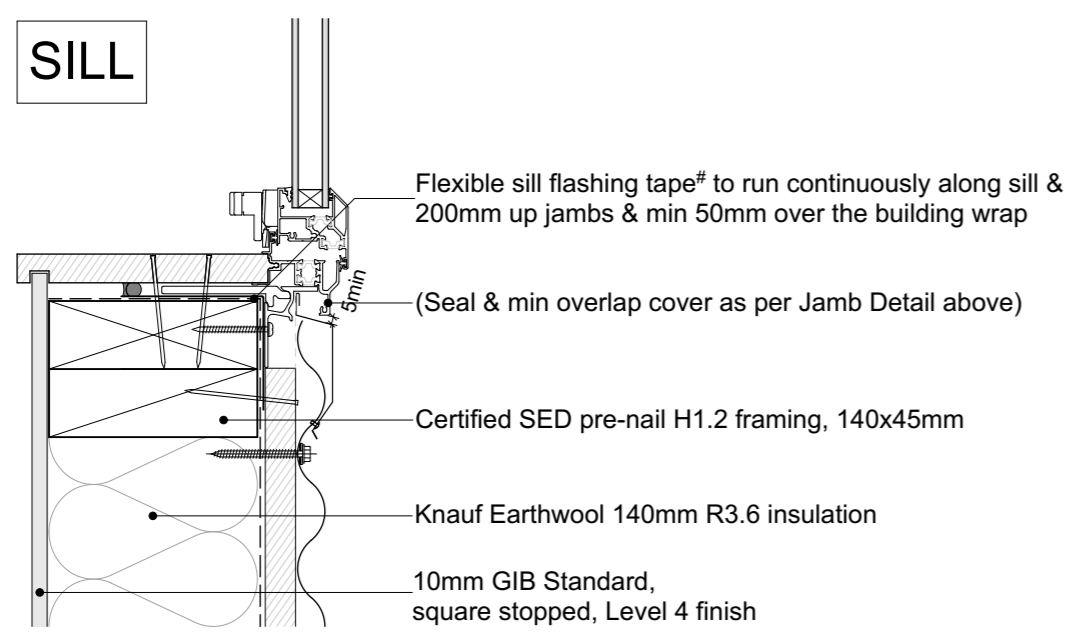
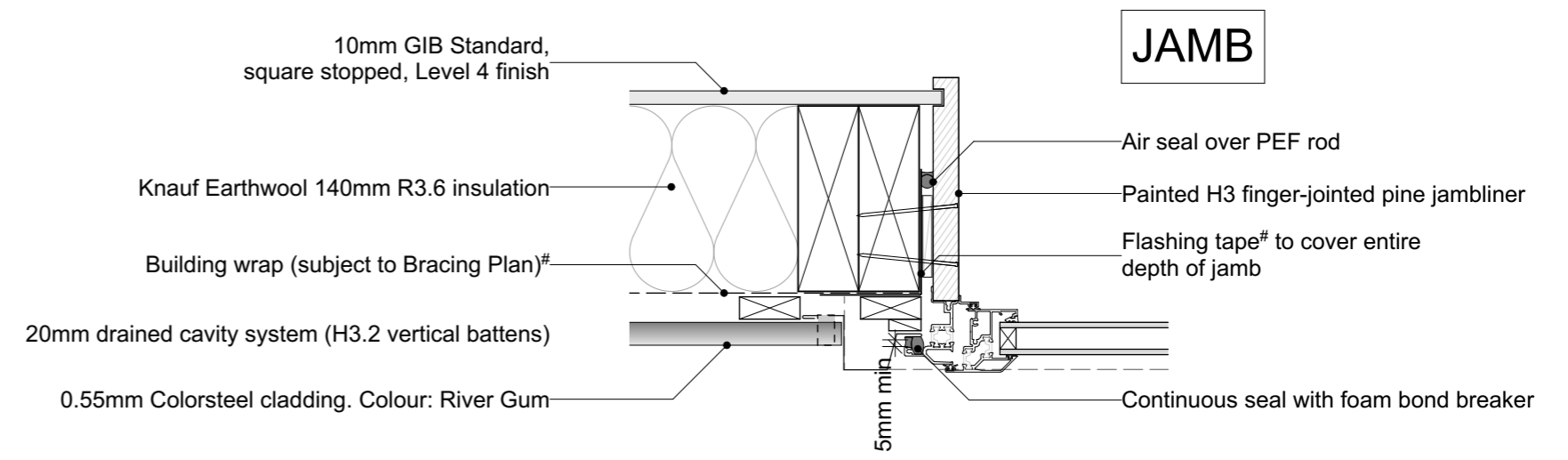
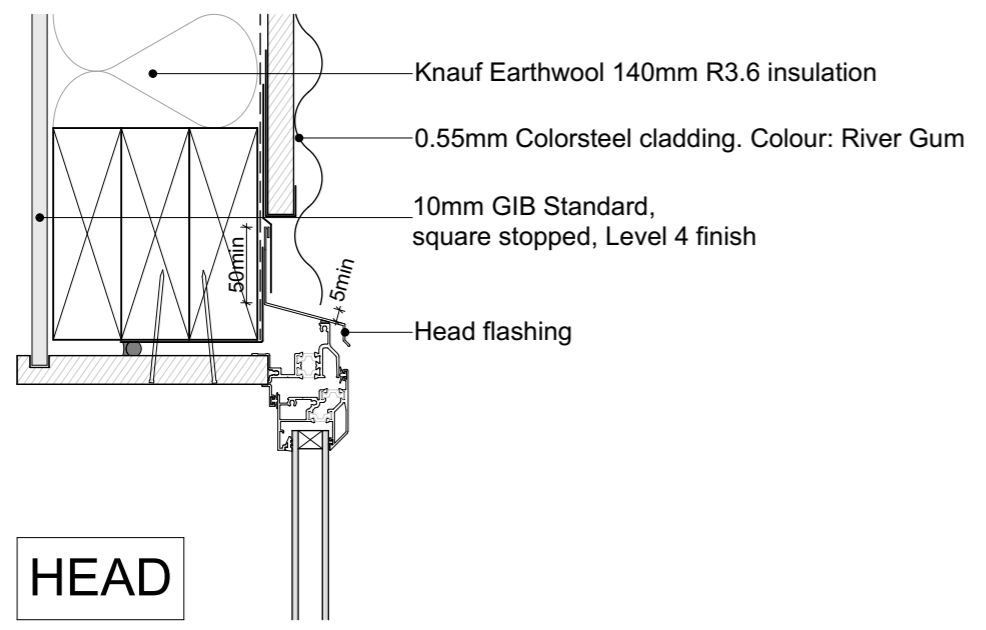
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02 TYPICAL WINDOW DETAILS
SCALE 1:5 @ A3

GENERAL NOTES

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- Read in conjunction with cladding manufacturer standard details
- Wall linings may vary subject to bracing requirements - refer Engineer Spec



Read in conjunction with standard manufacturer details for:-
 - APL Residential Thermal Heart
 - Colorsteel cladding

Note: minimum flashing tape requirements around window reveals will depend on bracing requirements - refer Engineer Spec
 (HomeRAB board will have differing specification to traditional building wrap)

APL Residential Thermal Heart thermally-broken aluminium joinery.
 Double glazing (4mm clear glass / 12mm argon gap / 4mm glass)
 Grade A Safety Glass where required by NZBC F2 / NZS 4223
 Duralloy powder-coat, colour TBC.

GENERAL NOTES

- To be read in conjunction with Structural Engineer's specification and details
- Read in conjunction with cladding manufacturer standard details
- Wall linings may vary subject to bracing requirements - refer Engineer Spec

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18/05/17	Issued for Engineering	01
Issue Date:	Issue:	No:

SUSSMAN
 Alterations & Additions
 44 Coalpit Road, Gibbston Valley

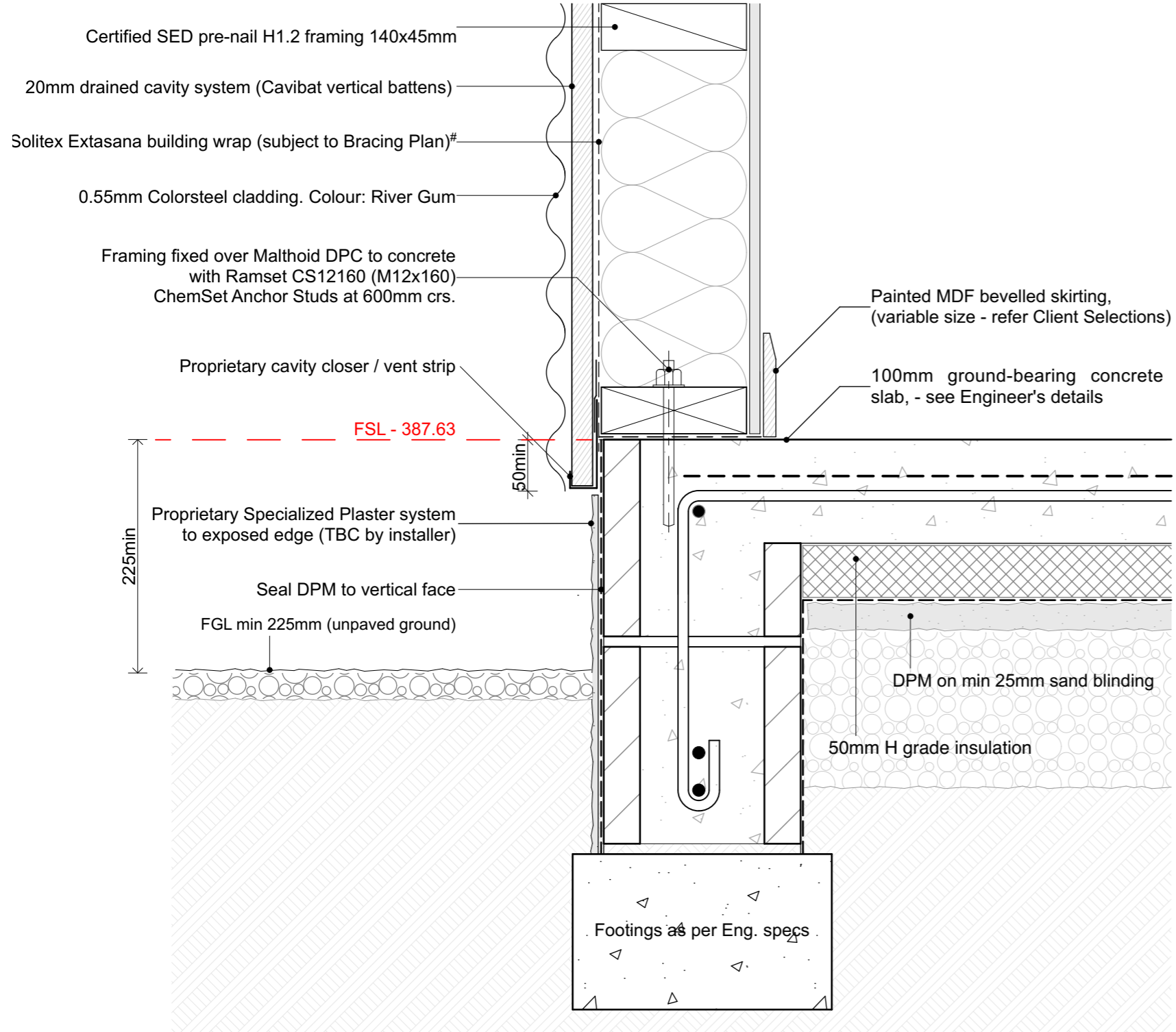
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 Drawn: MB/CH

WYATT + GRAY
 architects

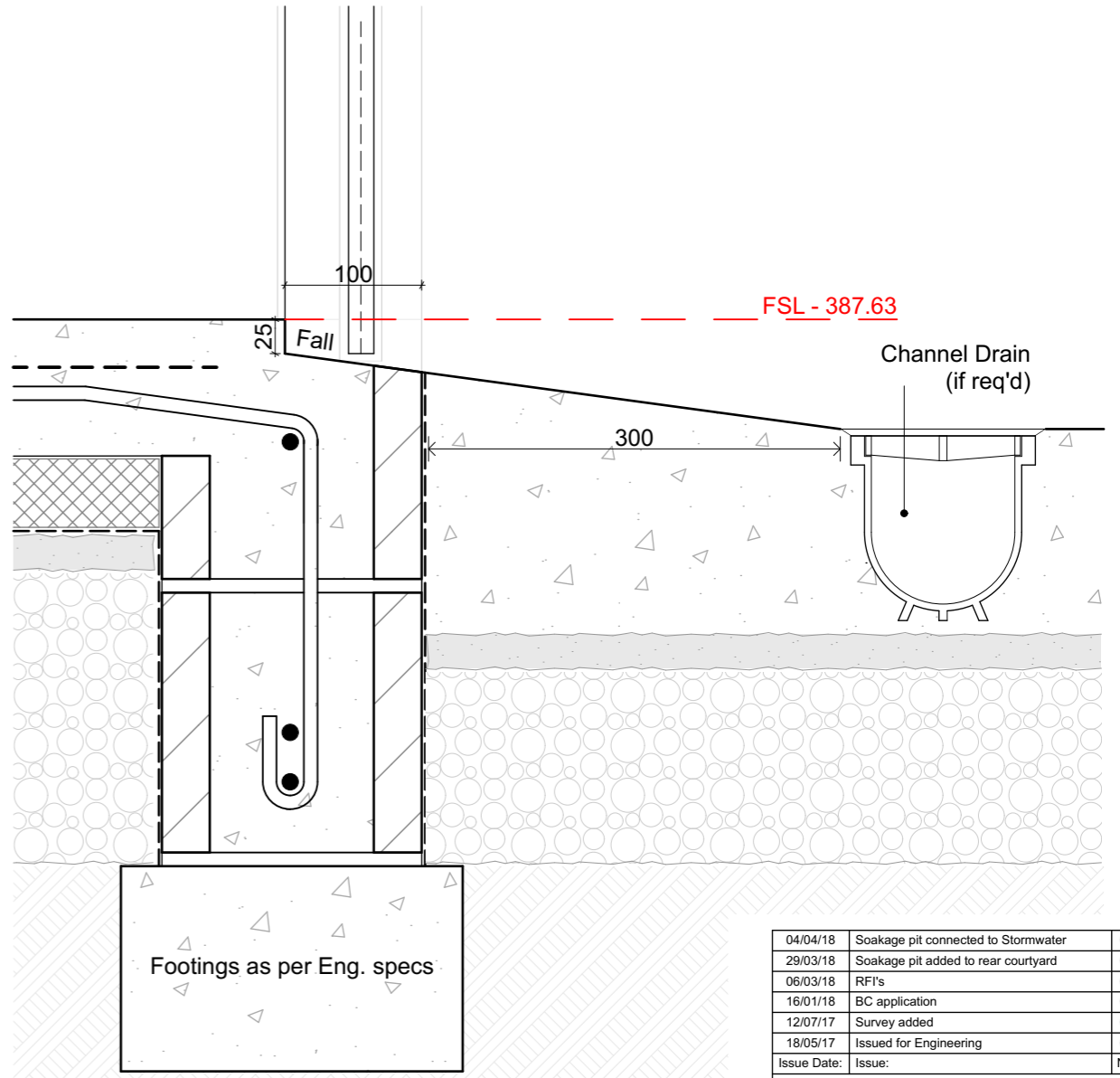
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GARAGE EXTERNAL WALLS



GARAGE DOOR SLAB EDGE REBATE DETAIL



100mm ground-bearing concrete slab on DPM on 50mm Poly on min 25mm sand blinding on min 250 compacted hardfill. Slab thickenings at perimeter and under load bearing walls. All to Engineer's details. Proprietary Specialized plaster system to exposed edge.

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Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:5 @ A3	Drawing Title: Details	Drawing No: GD03
Drawn: MB/CH		



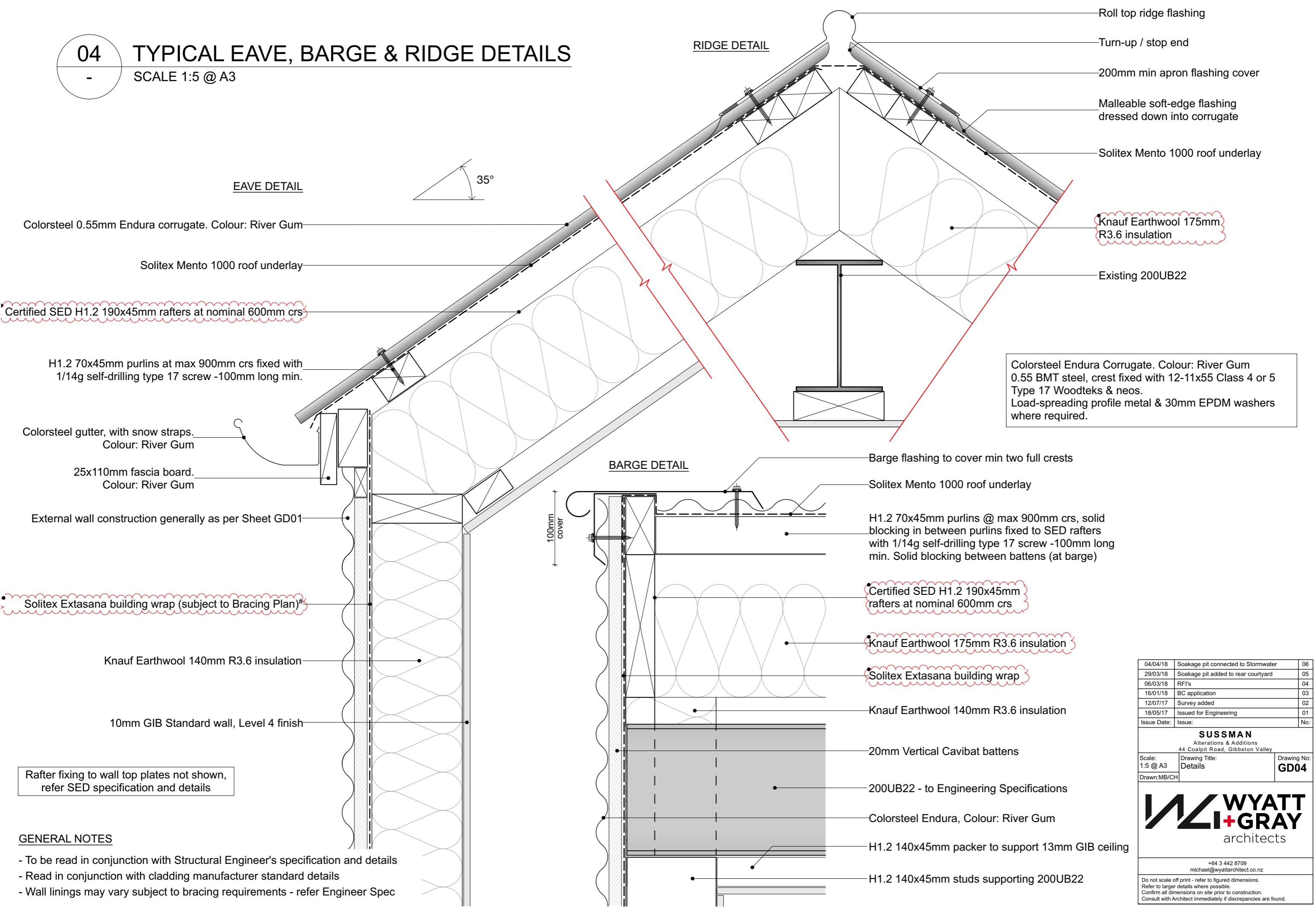
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04
-

TYPICAL EAVE, BARGE & RIDGE DETAILS

SCALE 1:5 @ A3



Colorsteel Endura Corrugate. Colour: River Gum
0.55 BMT steel, crest fixed with 12-11x55 Class 4 or 5
Type 17 Woodteks & neos.
Load-spreading profile metal & 30mm EPDM washers
where required.

Rafter fixing to wall top plates not shown,
refer SED specification and details

GENERAL NOTES

- To be read in conjunction with Structural Engineer's specification and details
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SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:5 @ A3	Drawing Title: Details	Drawing No: GD04
Drawn: MB/CH		



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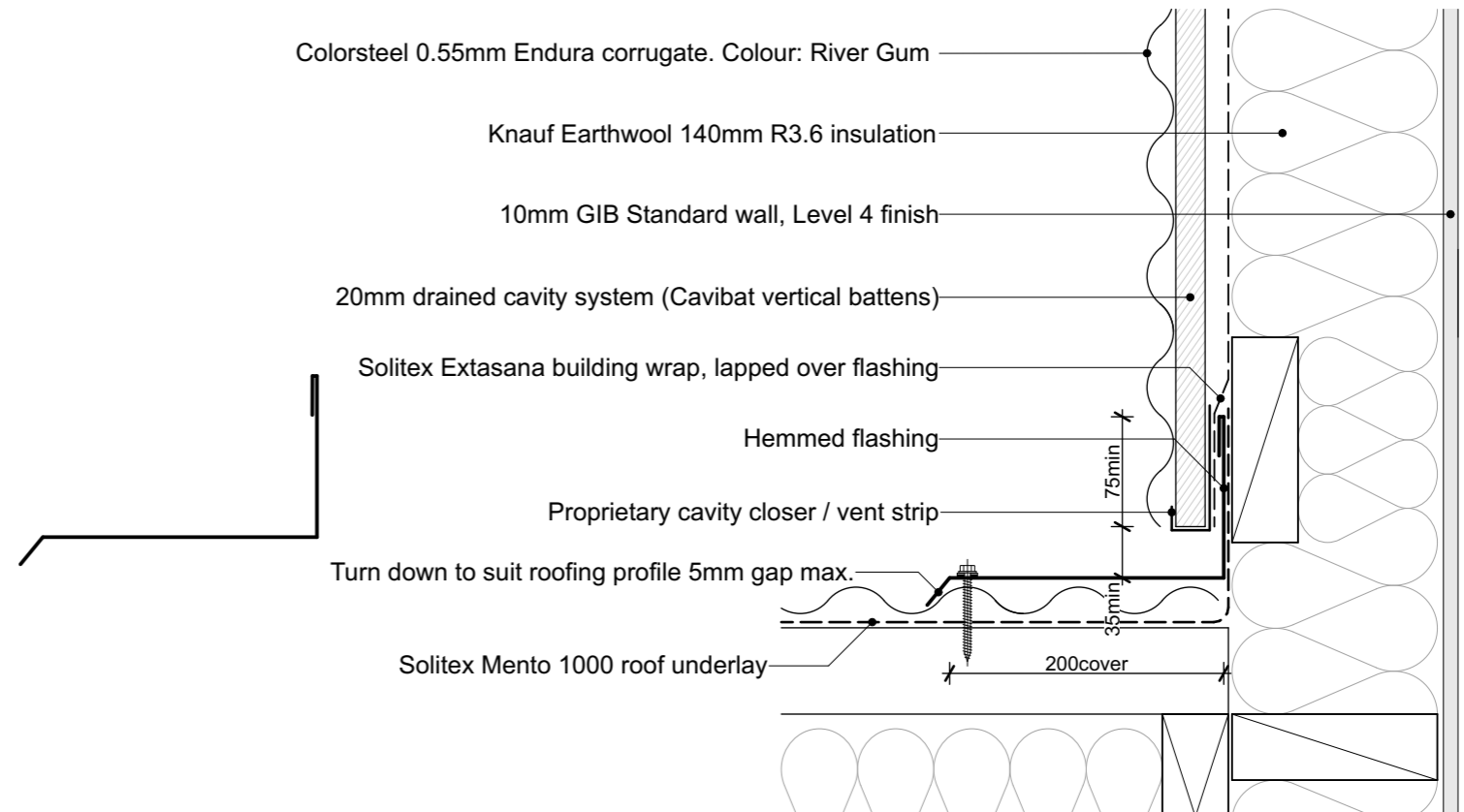
Do not scale off print - refer to figured dimensions.
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05 PORCH DETAIL & ROOF INTERSECTIONS
 - SCALE 1:5 @ A3

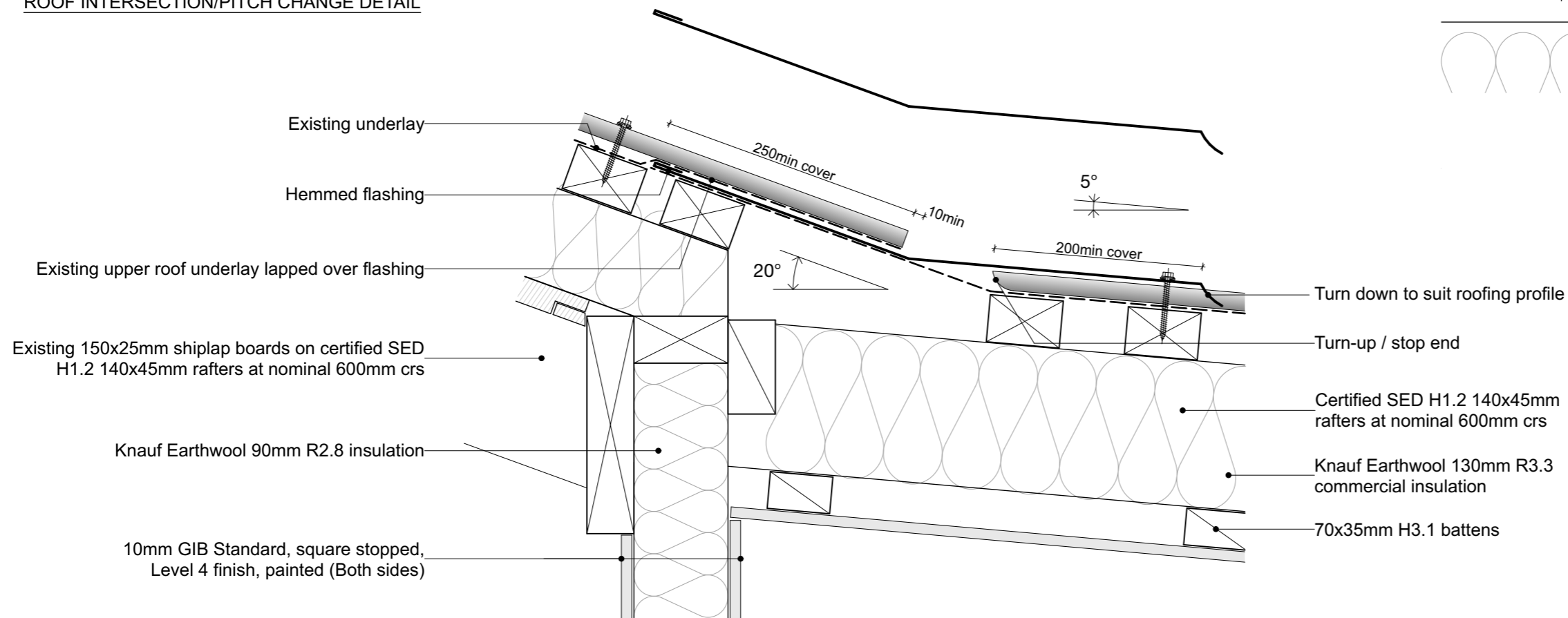
GENERAL NOTES

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- Read in conjunction with cladding manufacturer standard details
- Wall linings may vary subject to bracing requirements - refer Engineer Spec

ROOF INTERSECTION/PARALLEL APRON FLASHING



ROOF INTERSECTION/PITCH CHANGE DETAIL



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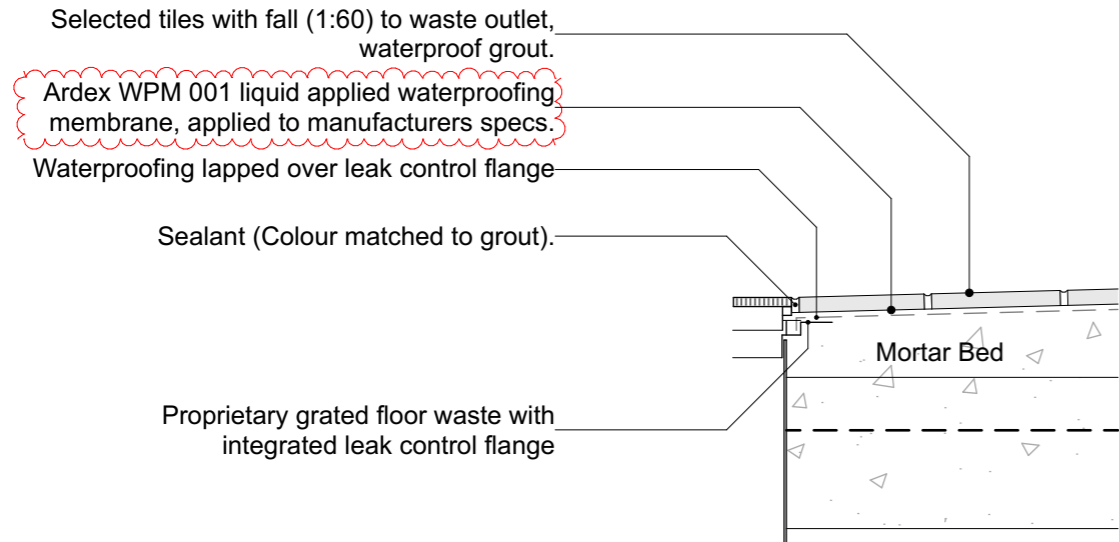
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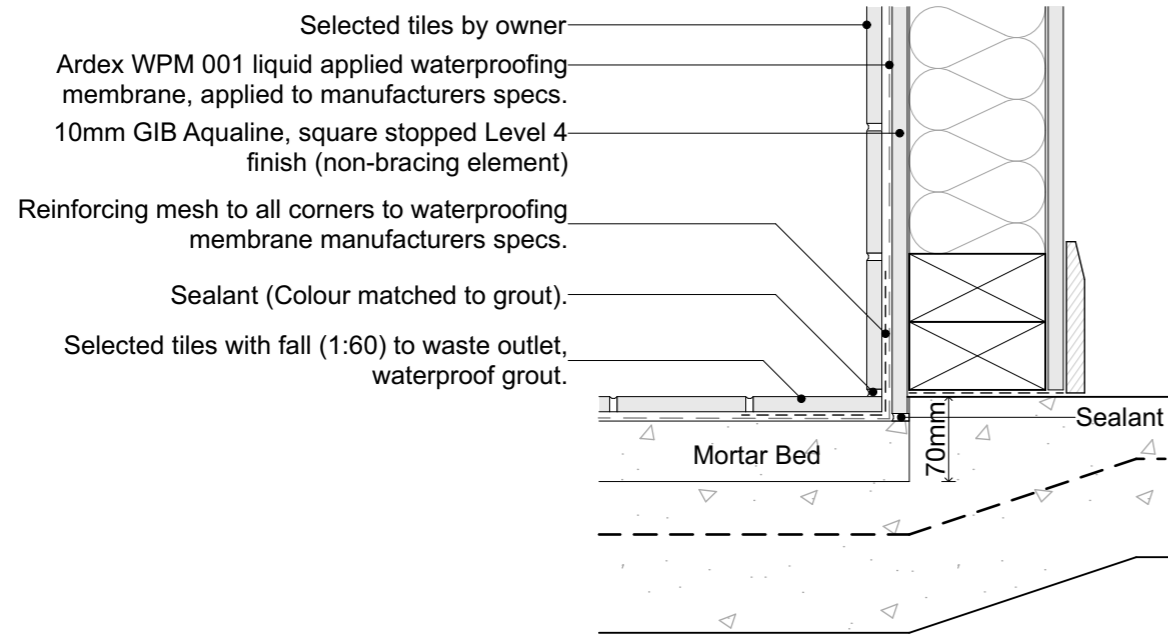
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06 **SHOWER DETAILS**
SCALE 1:5 @ A3

Typical Waterproofing junction at shower waste



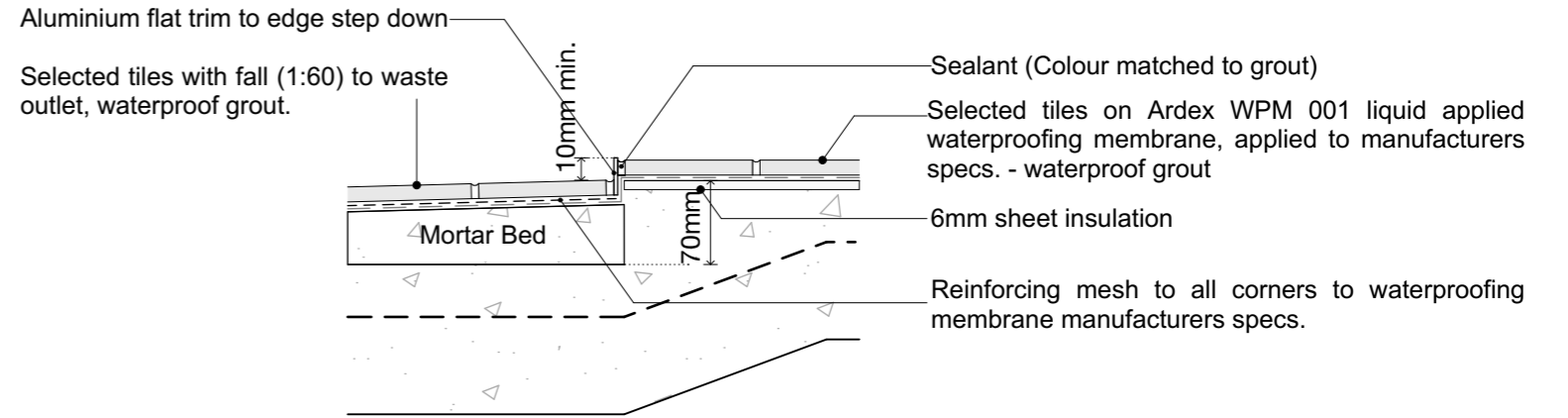
Typical Waterproofing junction at shower wall/floor



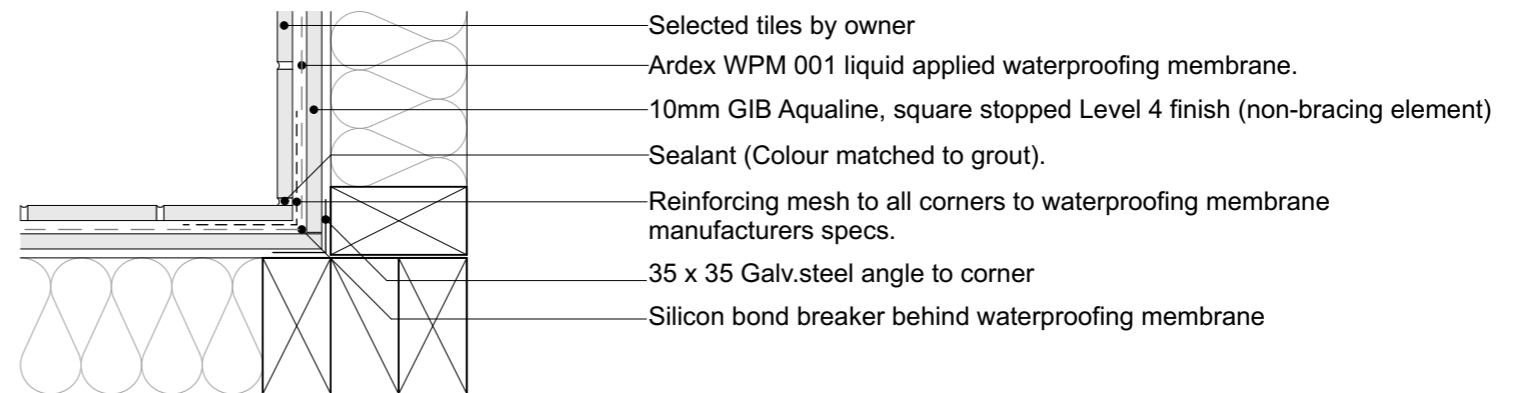
GENERAL NOTES

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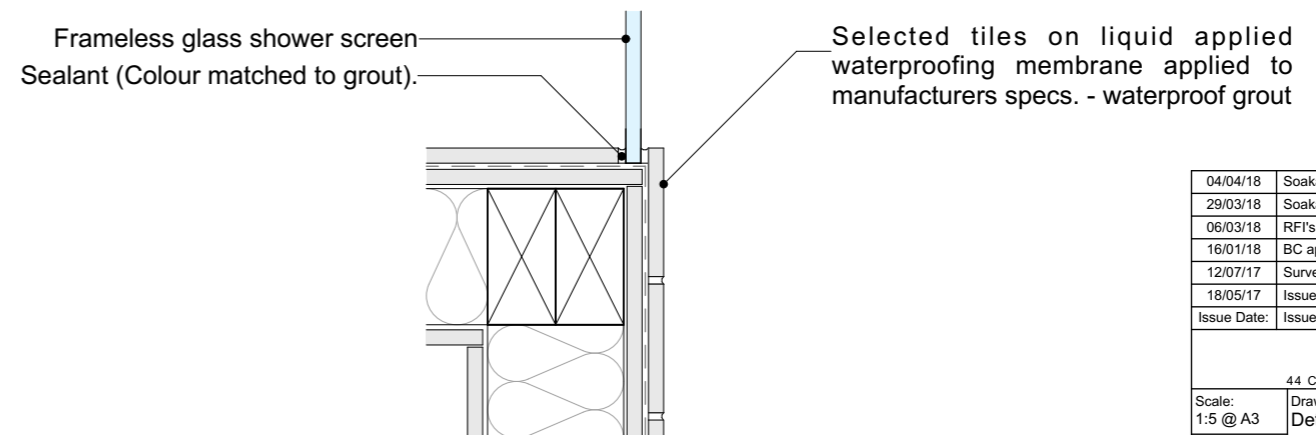
Typical Waterproofing junction at shower threshold



Typical Waterproofing Junction at shower wall corner



Typical Waterproofing junction at shower screen wall junction



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SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:5 @ A3	Drawing Title: Details	Drawing No: GD06
Drawn: MB/CH		

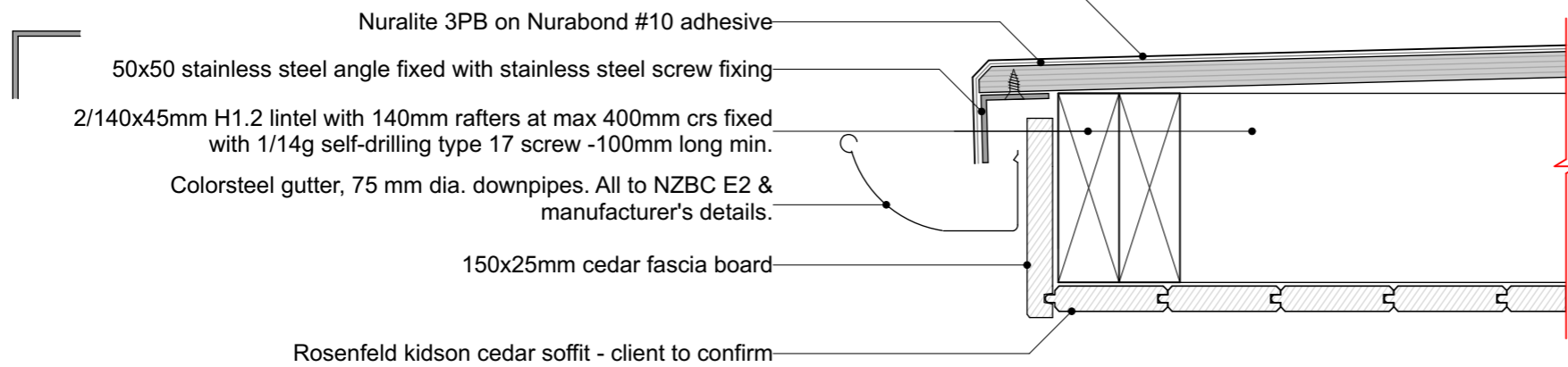


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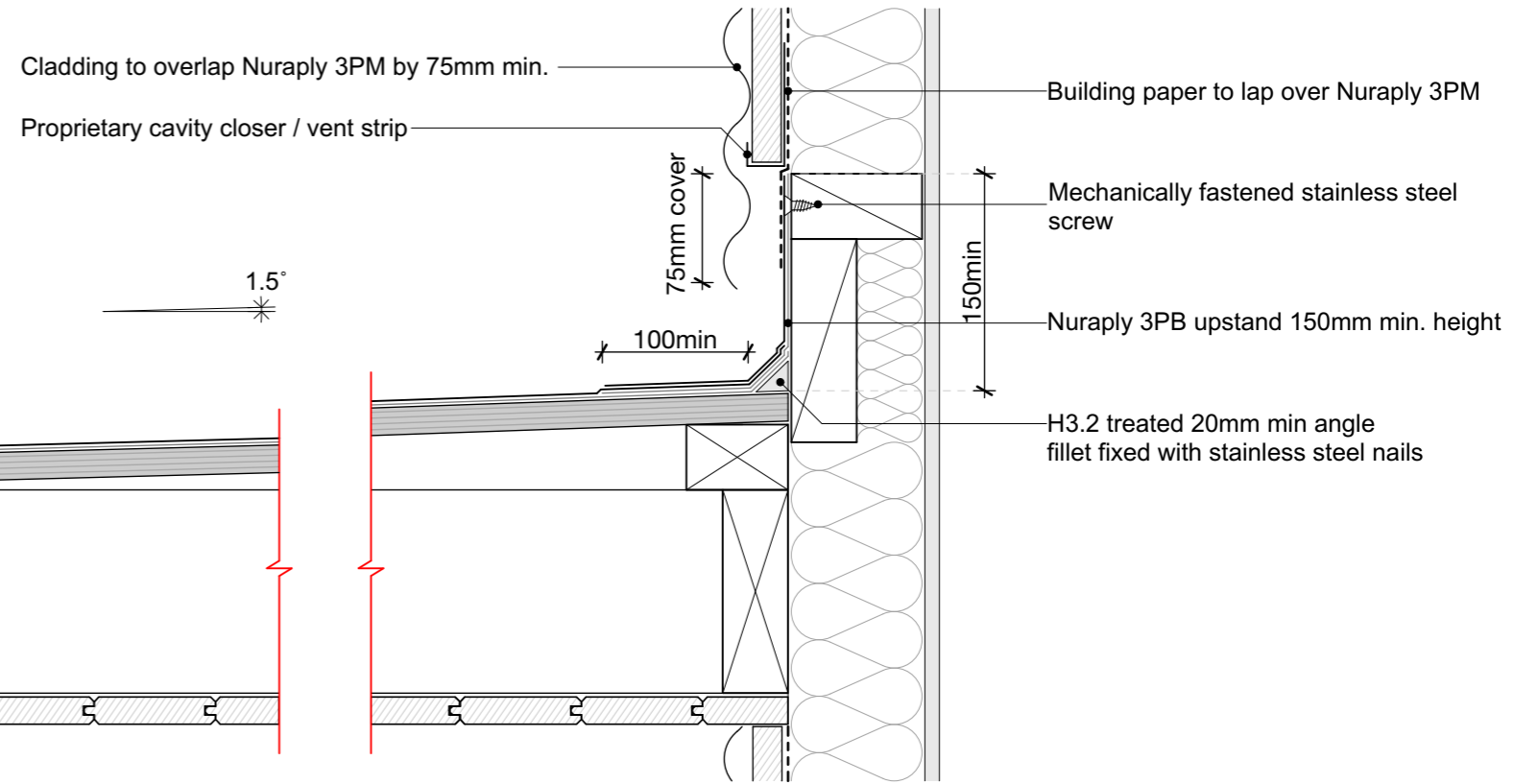
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Nuraply 3PM wrapped metal angle edge into gutter

Nuraply 3PM double-layer mineral chip roofing membrane system (colour: Charcoal) on 18mm H3.2 CCA-treated ply with tight-butted fully-supported edges, laid to specified falls on H1.2 SG8 framing at max 600mm crs each way.



Nuraply 3PM upstand behind cladding



H1.2 SG8 roof framing to NZS3604:2011 & Structural Engineer's design.

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Issue Date:	Issue:	No:

SUSSMAN Alterations & Additions 44 Coalpit Road, Gibbston Valley		
Scale: 1:5 @ A3	Drawing Title: Details	Drawing No: GD07
Drawn:MB/CH		



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